

# Ovenell Park & Hamilton Landing Master Plan

Adopted June 23, 2016

Resolution No. 2016-16

Respectfully Prepared by Theresa Metzger, IRIS Consulting

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## 1 ACKNOWLEDGEMENTS

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### Elected Officials

|                     |              |
|---------------------|--------------|
| Leonard Kelley      | Mayor        |
| Rob Johnson         | City Council |
| Arne Wennerberg     | City Council |
| Elizabeth Callaghan | City Council |
| Timothy Pearce      | City Council |
| Larry Sather        | City Council |
| Conrad Ryer         | City Council |
| Dottie Gorsuch      | City Council |

### City Staff

|                 |                                |
|-----------------|--------------------------------|
| Deborah Knight  | City Administrator             |
| Ryan Larson     | Community Development Director |
| Kevin Hushagen  | Public Works                   |
| Lisa Sokolik    | Public Works                   |
| Trevor Harrison | Public Works                   |

### Knowledge Experts

|                      |                      |
|----------------------|----------------------|
| Terry Stevens        | Padilla Bay          |
| Jim Ballew           | Jennings Park        |
| Mike Remle           | River Meadows Park   |
| Dave Hayes           | State Representative |
| Mary Margaret Haugen | Former State Senator |
| Dave Thomsen         | Bonhoeffer Gardens   |

**Community Advisory Committee**

|                  |   |
|------------------|---|
| AnnMarie Hall    | Community Member                              |
| Bob Hitz         | Community Member                              |
| Bob Sandoz       | Windermere, Stanwood Planning Commission      |
| Carol Triplett   | Friends of Camano Island Parks                |
| Christie Connors | Stanwood-Camano Community Resource Center     |
| Chris Carlson    | Stanwood High School                          |
| Chuck Gittings   | Center for Wooden Boats                       |
| Dan Lien         | Stanwood Area Historical Society              |
| Darryl Main      | School District FFA                           |
| Dianne White     | Former Stanwood Mayor                         |
| Ellen Hiatt      | Discover Port Susan                           |
| Erik Krieg       | Community Member                              |
| Irene Stewart    | Community Member                              |
| Jerry Will       | Camano Island Chamber of Commerce             |
| Jim Beneteau     | Pilchuck Audubon                              |
| Judy Williams    | Chicago Title, Stanwood Planning Commission   |
| Laura Byers      | Coastal Community Bank, Snow Goose Festival   |
| Leslie Collings  | Port Susan Farmers Market                     |
| Lori Cummings    | Everett Parks                                 |
| Oisten Boge      | Stanwood Lions Club                           |
| Penny Buse       | Stanwood Area Historical Society              |
| Ramona Snowden   | Community Member                              |
| Rick Hawkins     | Stanwood Police, Stanwood Chamber of Commerce |
| Rob Sendak       | Washington Water Trails Association           |
| Roger Johnson    | Community Member                              |
| Ryan Ovenell     | Ovenell Family                                |



**Technical Advisory Committee**

|                     |  |
|---------------------|--|
| Catherine Desjardin | Army Corps Engineers                   |
| Chuck Hazelton      | Stillaguamish Flood Control District   |
| Doug Gresham        | Washington State Department of Ecology |
| Jeff Wheeler        | WA State Parks                         |
| Kathleen Herrmann   | SnoCo Public Works Watershed Steward   |
| Kye Iris            | WA Fish and Wildlife                   |
| Linda Nuenzig       | Snohomish County Ag coordinator        |
| Loren Brokaw        | WA Fish and Wildlife                   |
| Pat Stevenson       | Stillaguamish Tribe                    |
| Paul Anderson       | Washington State Department of Ecology |
| Sharon Swan         | Snohomish County Parks                 |
| Tracey Boser        | Stillaguamish Tribe Archive Specialist |
| Tyler Breum         | Diking District 7                      |

**Consulting Team**

|                 |  |
|-----------------|--|
| Theresa Metzger | Iris Consulting, Facilitator                             |
| Dan Nelson      | Designs Northwest Architects Inc, Schematics & Expertise |
| Jayne Zold      | Designs Northwest Architects Inc, Schematics & Expertise |

## 2 INTRODUCTION

Welcome to the Master Plan for Ovenell Park and Hamilton Landing. The development of this plan has been an intensely collaborative effort utilizing the expertise of City Staff, Technical Advisors, Community Advisors, Expert Resources and – very importantly – community input.

Both of these parks were purchased with Conservation Futures Grants from Snohomish County in recognition of their ability to provide unique opportunities to increase access to passive recreation activities (walking, kayaking, and bird watching); improve estuary habitat; educate residents and visitors; protect an important part of the Puget Sound ecosystem; and preserve the Ovenell dairy farm and Hamilton Lumber site which are important parts of Stanwood’s history.

Visitors and new residents are barely aware of the river that was the commercial connection for new farmers and businesses in the lower Stillaguamish River Valley from the late 1800s. Indeed, they can only see the Stillaguamish River in the distance as they ride over the bridge on State Route 532.

Because both properties are located just off SR 532, at the confluence of the Old Stillaguamish Channel and Skagit Bay, they provide a chance for residents and visitors to reconnect with the river estuary system that is such an important part of Stanwood’s past, present and future. In addition, use of the properties for passive recreation and public access is an opportunity to meet the preservation goals of the shoreline master plan and Port Susan Stewardship Area.



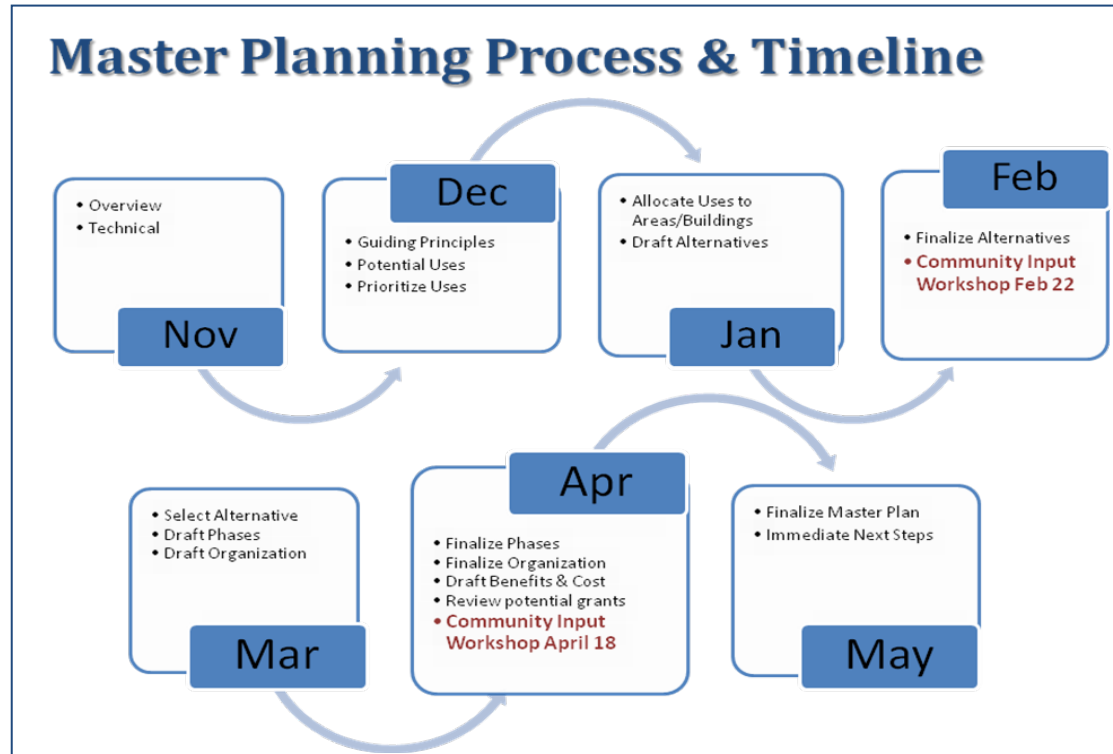
### 3 EXECUTIVE SUMMARY

The purpose of this Master Plan is to:

- Provide **community input and guidance** to City Staff for the development of Ovenell Park and Hamilton Landing.
- Create the necessary framework for **grant applications**.
- Develop a **support team** who can provide advice on the ongoing development and operation of Ovenell Park.

The future benefits of Ovenell Park and Hamilton Landing are multi-fold and fall into the recurring Master Plan themes of *Nature, History and Community*. Enhancing wildlife, wetland and shoreline habitats; ensuring the preservation of these important landmarks of

the region’s history; preserving public access to the Old Stillaguamish River Channel and estuary system - along with providing much-needed community gathering, recreational and educational opportunities - are all outcomes that can be expected as these unique parks are developed.

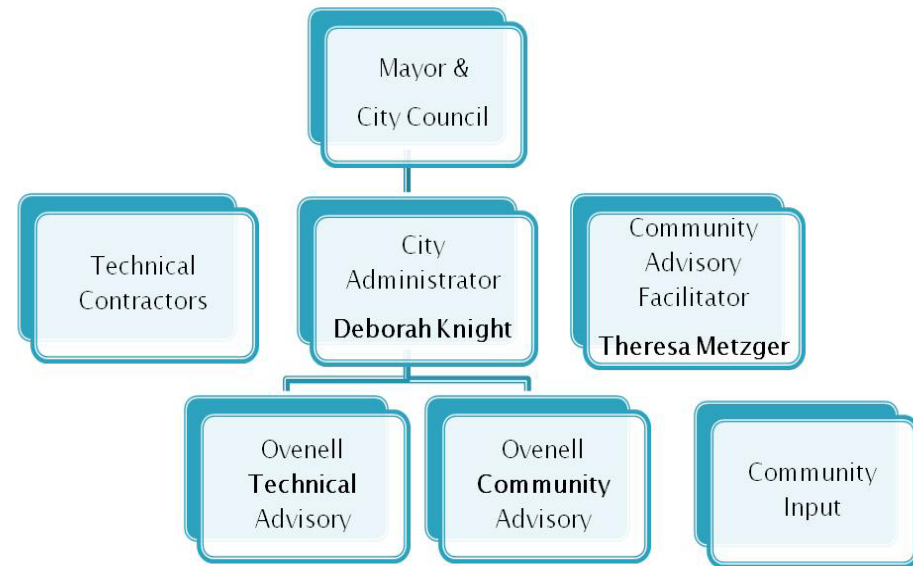




#### 4 COMMUNITY & TECHNICAL INPUT

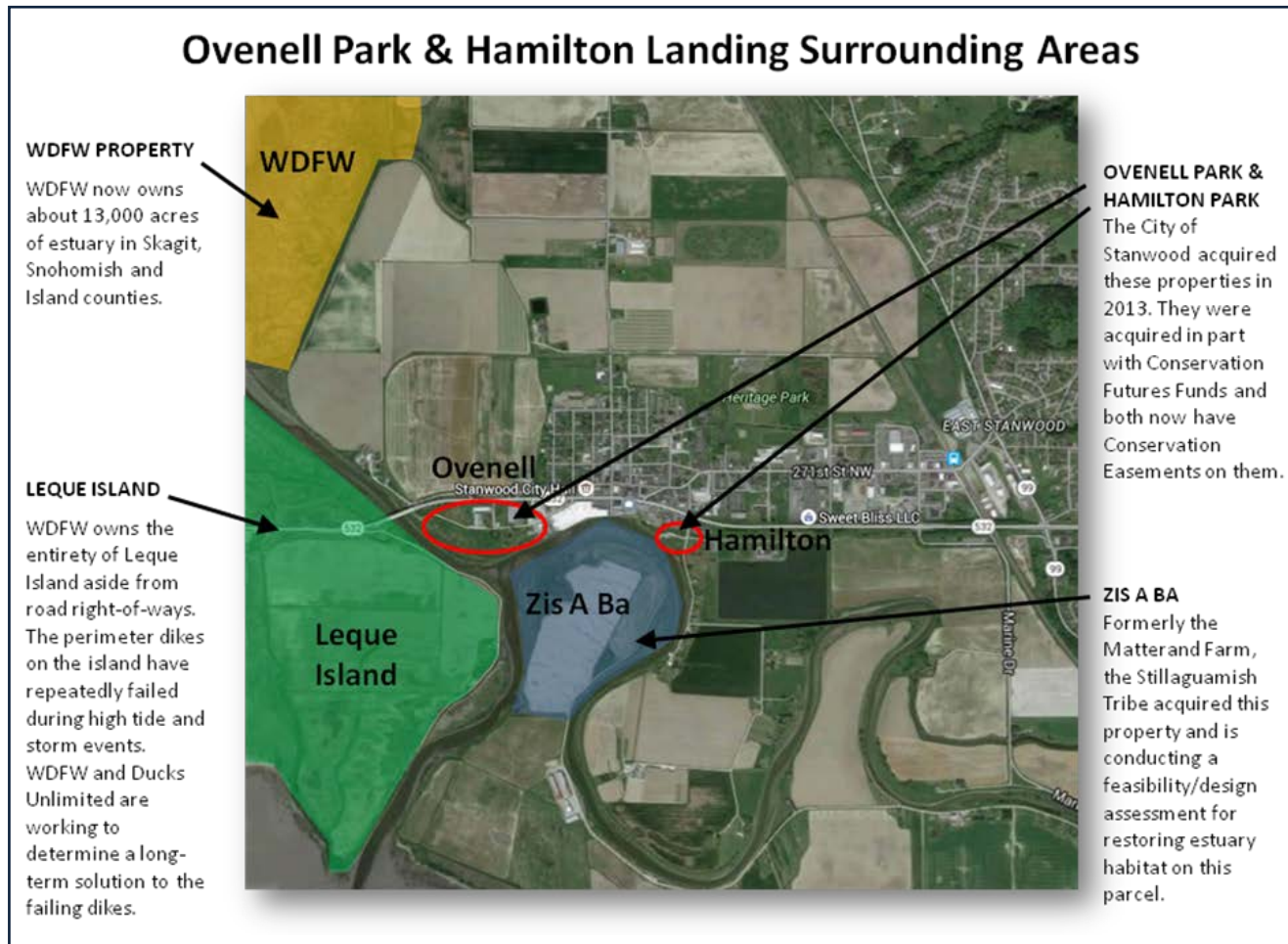
Community and Technical Input have both been cornerstones during the development of this Master Plan, as shown in the Organization Structure below.

- The Community Advisory Committee** provided a forum for community input as well as guidance to City Staff for the development of Ovenell Park and Hamilton Landing. The committee consisted of 26 members and met 9 times for a minimum of two hours each time. All told, this represents over 300 hours of volunteer effort.
- The Technical Advisory Committee** from regional and state agencies met three times at strategic points to review the contents of the plans. Their input was invaluable and provided expert direction.
- Community Open Houses** were also a key feature of developing this Master Plan. Four Open Houses engaged the public and neighboring landowners and businesses. Approximately 120 attendees provided over 60 comments suggestions. The Open Houses provided excellent feedback and also resulted in increased engagement that produced additional Community Advisory members as well as participants who are interested in helping the parks come to fruition. *Open House Feedback is included in in Appendix A.* A workshop was also held with elected officials to ensure their feedback and questions were received – along with regular updates at Planning Commission and City Council meetings.



## 5 REGIONAL CONSIDERATIONS

Prior to developing the plans for these parks, a review of the plans for the surrounding areas was conducted. This crucial step ensured that the Master Plans for Ovenell and Hamilton leveraged the unique opportunities available as a result of increased estuary habitat alongside both parks. In addition, these sites offer excellent opportunities for adding to the Cascade Marine Trail.



## 6 OVERALL TECHNICAL CONSIDERATIONS

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Once the potential of the surrounding areas was understood, a review of the restrictions placed on both properties was conducted. The following reviews were conducted for both properties. Additional assessments were conducted for Ovenell Park and are included in that section.

### 6.1 SNOHOMISH COUNTY CONSERVATION FUTURES GRANT CONSIDERATIONS

As mentioned in the Introduction, both of these properties were purchased with Conservation Futures Grants from Snohomish County. Therefore, Conservation Easements have been placed on both properties in order to *“assure that the Protected Property will be retained forever in its natural and open space condition and to prevent any use of the Protected Property that will significantly impair or interfere with the Conservation Values.”*

In practical terms, this means that **Passive Uses** are allowed such as trails, interpretive and farmers market centers, boat launches for non-motorized boats and habitat enhancement while **Active Uses** such as ball fields and use by motorized vehicles are not allowed. In addition, the following Building Restrictions were taken in consideration:

- Current buildings may be maintained, repaired, replaced, remodeled, upgraded, demolished and/or rebuilt, but footprints cannot be enlarged or increased.
- New buildings, structures, improvements or equipment of any kind (other than passive improvements) are prohibited.
- If at any time a structure is demolished, and restoration or rebuilding is not started within eighteen (18) months, and the structure’s area is returned to natural and open space, no building can then be constructed in that location.
- Any construction, expansion, repair or other development activity is prohibited that would result in more than ten percent (10%) of the area, exclusive of existing structures, being covered with impervious surfaces, including, without limitation, asphalt, concrete, gravel, buildings, or ponds.

### 6.2 ENVIRONMENTAL & ARCHEOLOGICAL ASSESSMENTS

A Phase 1 Environmental Assessment was conducted for both properties and concluded that *“No recognized environmental conditions, controlled recognized environmental conditions or historical recognized environmental conditions were identified for the subject property.”*

## 7 COMPARABLE PARK TOURS

An important step towards developing the Master Plans for these two properties was to conduct a series of tours of Comparable Parks. Members of the Community Advisory Committee, along with City Staff and the Consulting Team, toured four regional parks which were selected based on meeting all of the following criteria:

- Water Frontage
- Wetlands
- Public Buildings
- Former Farm
- Passive Recreation

Up to six Community Advisory members attended each tour, which were hosted by the directors of each park. A site visit checklist was used, and photographs and notes were taken to capture important park features. *Detailed results are included in Appendix B.*

The results of these tours cannot be overstated. Along with motivating all of the attendees, the tours provided a wealth of information regarding “lessons learned” for planning, implementing and operating. This crucial information was referenced throughout the Master Planning Process.

| <i>Comparable Park Tours</i> |   |
|------------------------------|---|
| Sept 25, 2015                | Bonhoeffer Gardens<br><i>Stanwood</i>   |
| October 16, 2015             | Padilla Bay National<br>Estuarian Research<br>Preserve<br><i>Mount Vernon</i> |
| October 19, 2015             | Jennings Park<br><i>Marysville</i>  |
| October 21, 2015             | River Meadows Park<br><i>Arlington</i>  |

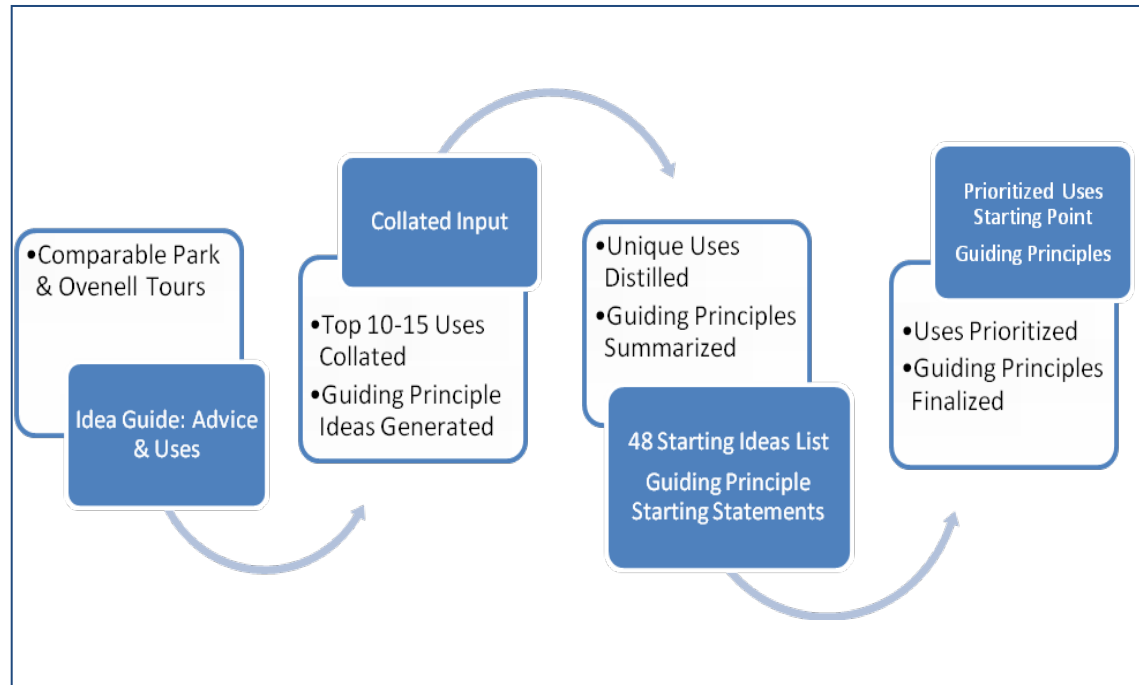


## 8 GUIDING PRINCIPLES & PRIORITY USES

Once the Comparable Parks tours were completed, the resulting information was collated and separated into two categories:

- **Advice/Lessons Learned:** instrumental in developing the Ovenell & Hamilton Guiding Principles
- **Park Uses:** the basis for identifying potential community uses of Ovenell Park and Hamilton Landing

The Guiding Principles and the Prioritized Uses were developed together using the collaborative process shown to the right.



### 8.1 GUIDING PRINCIPLES: NATURE, HISTORY & COMMUNITY

The Community Advisory Committee, in conjunction with City Staff, developed the Guiding Principles for Ovenell Park and Hamilton Landing during several energetic brainstorming sessions. The results clearly showed that community priorities for these two parks fell into the following **Nature, History and Community** categories:

- Education/Heritage
- Wildlife/Wetlands/Nature
- River
- Connectivity
- Community
- Accessibility
- Financial & Energy Sustainability
- Safety

*The evolution of the Guiding Principles is included in Appendix C, with the final Guiding Principles shown to the right. These principles were instrumental in forming the initial concepts for both Master Plans and were referenced on an ongoing basis as the plans were refined in response to additional Community and Technical input.*

### ***Connect with Nature, History and Community at Ovenell Park and Hamilton Landing!***

#### ***Two Riverfront Parks That:***

- *Celebrate and preserve Stanwood's cultural, historical and environmental heritage*
- *Connect to the vibrant wildlife and recreation of the Stillaguamish River and surrounding habitats*
- *Provide a variety of event and gathering spaces for Stanwood, Camano Island and neighboring communities and families*
- *Offer recreational and educational opportunities for all ages, abilities and seasons*
- *Are maintained through community partnerships and programs - and are designed for safety, low maintenance and low operating costs*

## 8.2 PRIORITIZED USES

To develop a prioritized list of community uses for Ovenell and Hamilton Parks, the Community Advisory Committee started with the uses identified during the Comparable Parks visits and added their own ideas based on their past experiences.

*A full list of over 50 potential uses, and the process used to prioritize them, is included in Appendix D.*

The top 15 uses are shown to the right. All of these – and much more - were included in the final Master Plans.

### ***Top 15 Uses for Ovenell Park & Hamilton Landing***

1. **Non-motorized boat launch** with safe access at all tides/currents (perhaps enlarge the drainage ditch)
2. **Trails/Hub** connecting to other areas
3. **Informational displays and signage** that shares the story of our native and European history of the land, the farming and industrial community, and the natural environment
4. **Venue for local events** such as the Farmers Market, holiday events, art shows, festivals
5. **FFA/4H program space** – potentially livestock, small animals, environmental etc
6. **Education center** for school programs and activities
7. **River access** (steps, path)
8. **Large open grass areas/amphitheatre** for picnics, outdoor movies, concerts and events.
9. **Wetland restoration**
10. **Boardwalks** - around or through wetland
11. **Viewing tower**
12. **Multi-purpose community space/conference center** with kitchen, bathroom, lobby, meeting room
13. **Offices/Working Space** for recording/tracking changes to park and surrounding areas – potentially for Stanwood Parks Dept/other uses
14. **A trail on the levee** which provides views
15. **Backyard Wildlife Habitat**

## 9 OVENELL PARK MASTER PLAN

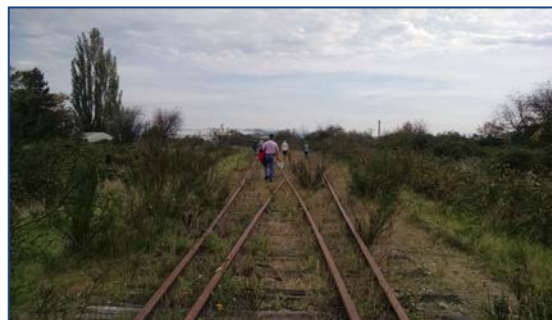
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The 15-acre Ovenell property is a former dairy farm with a long history. The site includes the old milking parlors and barns used by the Ovenell family for milk production. The farm was recognized in 1989 by the Washington State Department of Agriculture as a “Centennial Farm”.

While there are technical challenges inherent in the property (such as wetlands, traffic access and a bisecting railway spur), the potential of Ovenell Park is such that it makes addressing these challenges more than worthwhile. This potential is that of creating a regional asset that will be a gem for all of northern Snohomish County – one that encourages community and family gatherings, connecting with the boundless nature that is Port Susan Bay and Skagit Bay, and honoring the history of what makes Stanwood such a special place to live.

The economic implications of Ovenell Park are extraordinary. The park has the potential for hosting events, festivals, weddings, reunions, concerts, wetland and habitat programs, wildlife viewing, historical artifacts, educational opportunities, walking trails, connecting with nature and wildlife and much more. Each of these has a positive economic impact – all together they create the potential for a truly special place.

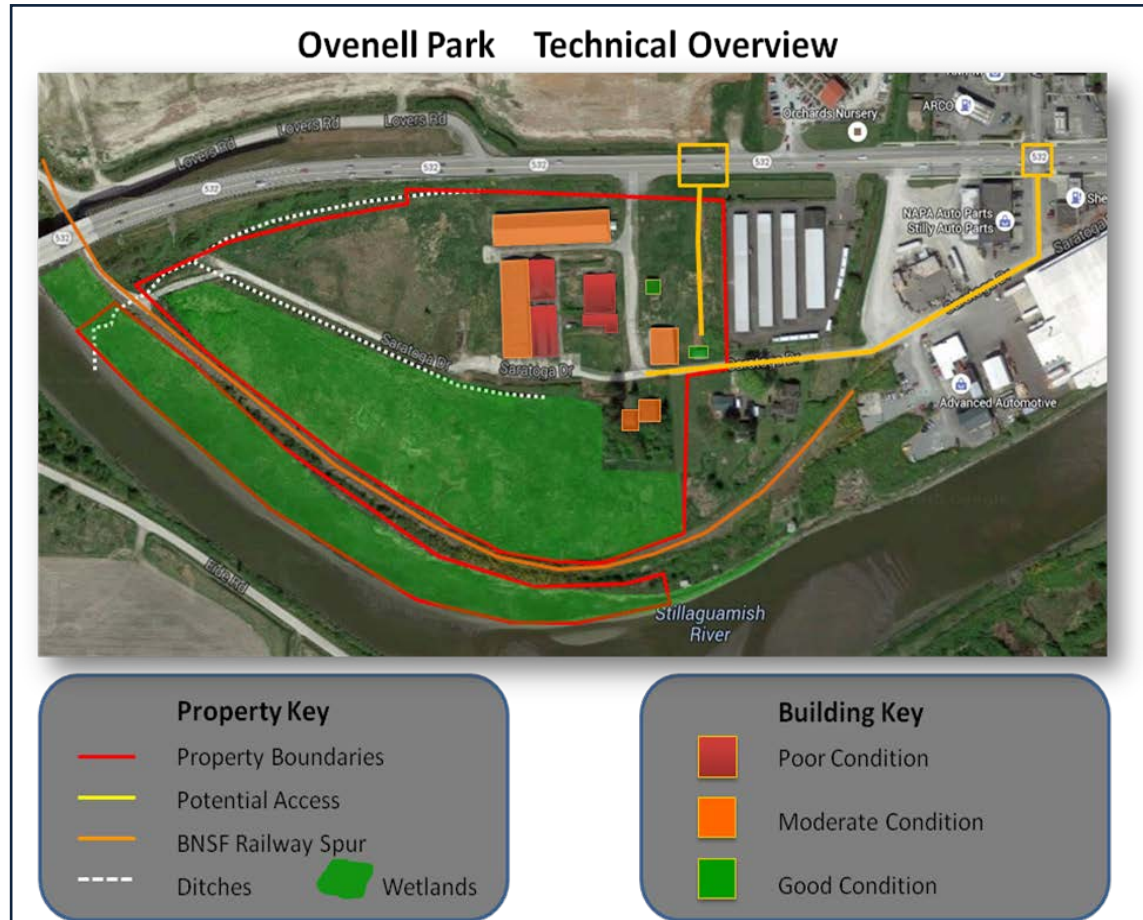
The Ovenell Park Master Plan that follows is an exciting compilation of community uses, habitat restoration and conservation, and historical educational and preservation opportunities. Implementation will be time-consuming and costly, however the benefits will last for generations to come.





### 9.1 OVENELL PARK TECHNICAL CONSIDERATIONS

The City of Stanwood contracted several studies for Ovenell Park to better understand the status of the property and the buildings. This information was used to provide a starting framework for the development of the Ovenell Master Plan and may be accessed on the City Website.



**This illustration shows the collective results from the following studies:**

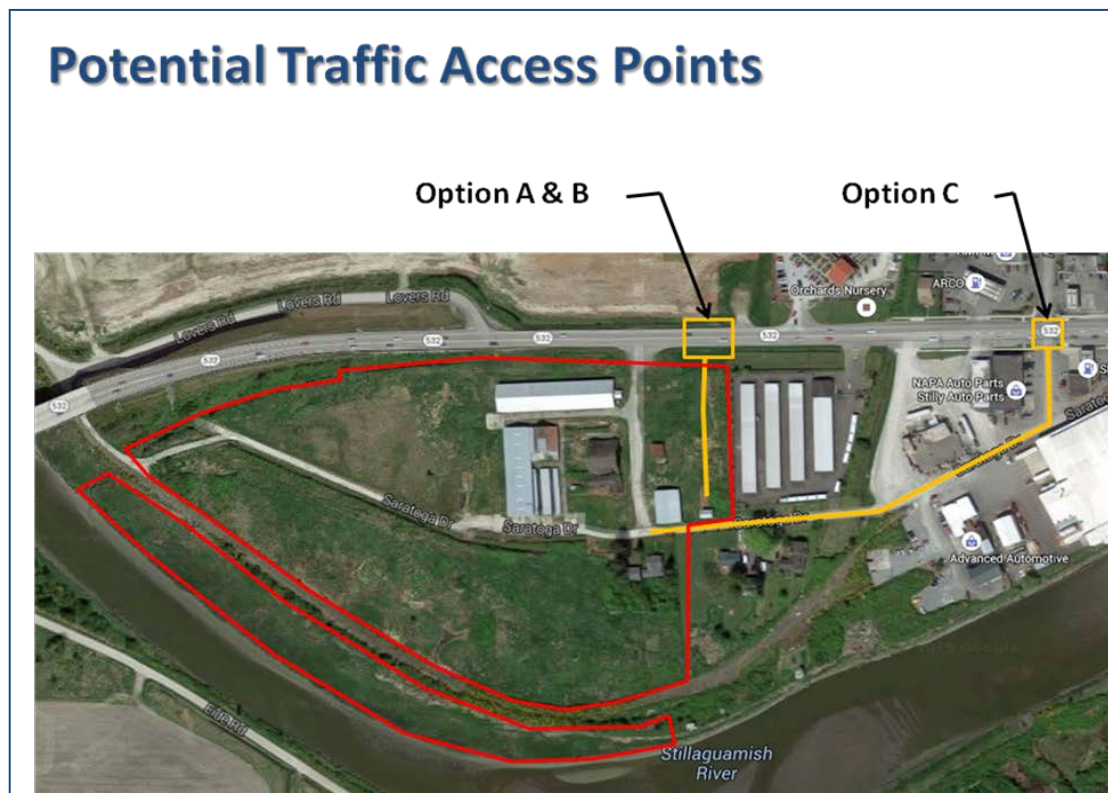
- Structural Assessment, OAC Services, October 2015
- Traffic analysis, Transpo Group, November 2015
- Wetlands Analysis, Confluence Environmental, November 2015 (revised May, 2016)

#### **BNSF Railway Spur**

- The BNSF railway spur essentially bisects the Park and has in the past served a major business, Twin City Foods.
- Conversations between the City and BNSF and Twin City Foods are ongoing.
- The implication for the Master Plan is the need to better understand how a potential walking path can be included along the river and how access to a prospective boat launch and dock can be obtained.
- These decisions will be made during the Implementation and Design Phase.

## 9.2 OVENELL PARK TRAFFIC CONSIDERATIONS

A significant amount of time was spent by the Community Advisory Committee reviewing the Traffic Assessment conducted by the Transpo Group. Three options were presented and are listed below. The Committee felt that additional traffic modelling would be necessary in order to select an option (see traffic statement below). The City has now received additional funding of \$300,000 in the most recent State Budget to conduct this modelling and develop a final design. The flexible design included in the Master Plan schematic can accommodate any of these traffic access options.



### Traffic Access Options:

- A. Extended 532 Turn Lane
- B. 532 Roundabout
- C. 104<sup>th</sup> Ave Traffic Light

### Community Advisory Traffic Statement

*“While the Ovenell Community Advisory Committee recognizes the safety and cost benefits of Transpo’s suggested solution (a roundabout), we recommend additional resources be allocated to better quantify and understand traffic impacts - for all options -before a final decision is made.”*

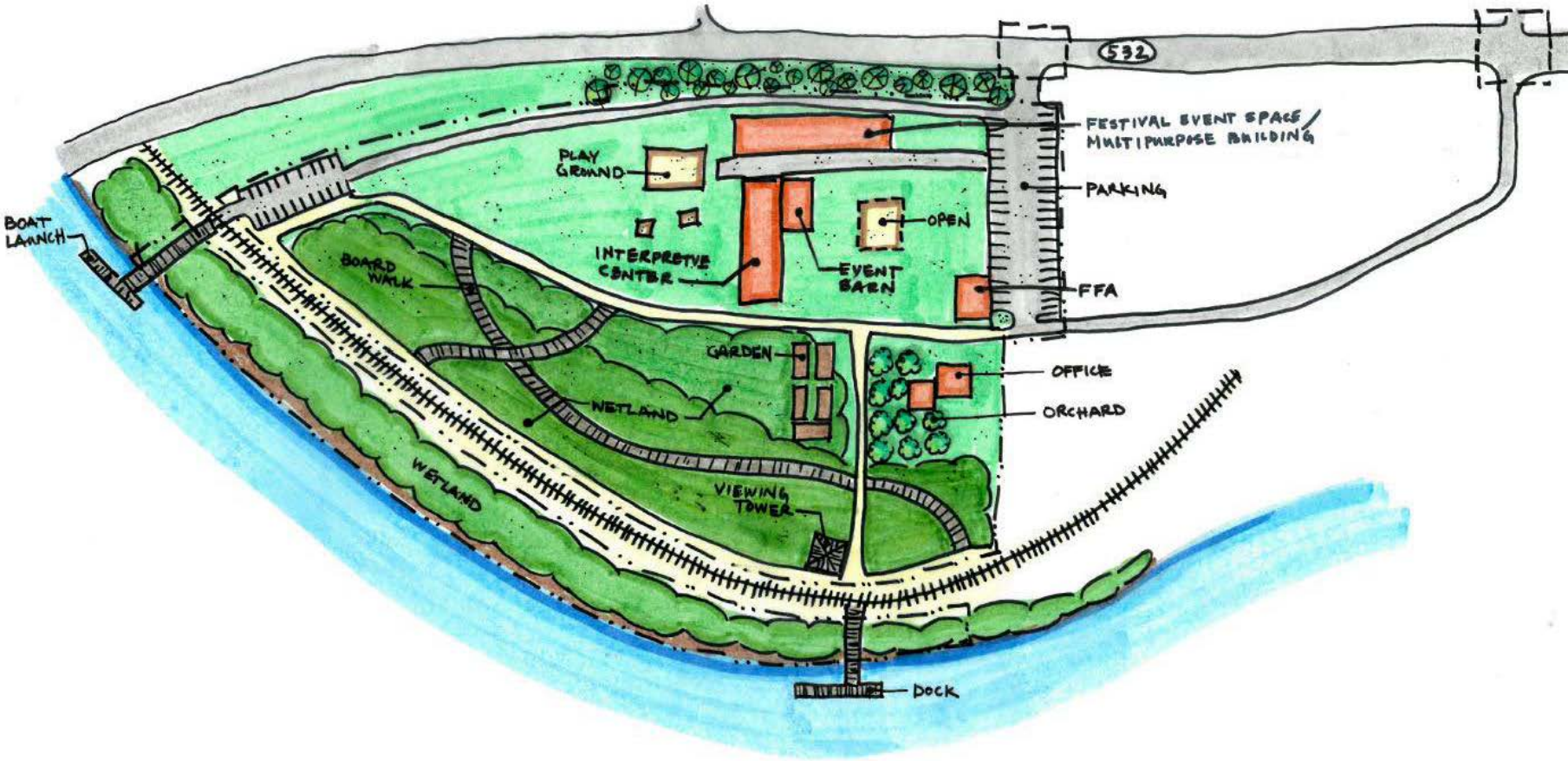
### 9.3 OVENELL PARK MASTER PLAN SCHEMATIC

The following forward-looking Ovenell Master Plan was developed by assigning the Prioritized Park Uses to the various buildings and areas of the park - guided by the technical considerations listed in the previous sections. *A larger, and more comprehensive, schematic showing photos of the current buildings and areas – and potential new buildings and areas - is included in Appendix E.*

This plan is the result of a comprehensive community process and significant background research. The plan shown on the following page was selected at a February 22 Community Open House as the preferred option, when compared to a plan did not include a boat launch. The plan adheres to the documented Grant and Technical requirements, addresses the Priority Uses and meets the Guiding Principles by including the following elements. Each element is described in the following pages.

|  |  |
|--|--|
| <p><b>Nature</b></p> <ul style="list-style-type: none"><li>• Wetland, Shoreline and Habitat Restoration</li><li>• Boardwalks, Trails &amp; Viewing Tower</li><li>• Non-motorized Boat Launch &amp; Dock</li><li>• Orchard &amp; Demonstration Garden</li></ul> <p><b>History</b></p> <ul style="list-style-type: none"><li>• Interpretive Center</li><li>• Heritage Event Barn</li></ul> | <p><b>Community</b></p> <ul style="list-style-type: none"><li>• Picnic Areas, Playground &amp; Public Art</li><li>• Indoor/Outdoor Venue for Local Events</li><li>• Multi-Purpose Community Space</li><li>• Large Open Grass Area/Amphitheatre/Stage</li><li>• FFA/4H Program and Display Space</li><li>• Traffic Access &amp; Parking</li><li>• Offices/Working Space/Lodging</li></ul> |
|--|--|

Ovenell Master Plan Preferred Option



## 9.4 OVENELL PARK MASTER PLAN DETAILS

### Nature

- Wetland, Shoreline and Habitat Restoration: The river shoreline and wetland areas have the potential for hosting a variety of wildlife and plant life. Detailed plans will ensure that these sensitive riparian areas are restored and protected, for the benefit of local birds, insects, aquatic life and other wildlife. It is expected that the reclamation process will provide excellent volunteer and educational opportunities for local community groups and student organizations.
- Boardwalks, Trails & Viewing Tower: The Ovenell portion of Old Saratoga Road – once the primary access to Camano Island – will be reclaimed and turned into a trail together with historical markers. In addition, a trail along the river will be developed, together with a Viewing Tower which will allow for birdwatching and viewing Leque Island and the surrounding areas. Detailed designs for the River Trail will be dependent on future agreements with BNSF and therefore the trail may end up on either the railway itself, on the river-side of the railway or on the park-side of the railway. The River Trail and Saratoga Trail will both be connected to the wetlands via boardwalks, which will allow for enjoyment of this major component of Ovenell Park.
- Non-Motorized Boat Launch & Dock: An access road, parallel to Highway 532, will lead to a Non-Motorized Boat Launch and a small parking area for unloading kayaks, canoes and paddle boards. An additional dock will be located further east to allow for visiting watercraft. It is important to note that the Washington Department of Fish and Wildlife (WDFW), together with the Stillaguamish Tribe, are performing Hydrological Modeling of this area. Once this is complete, the complex interaction of tides, river fluctuation and shifting deposits will be better understood and will guide the detailed design of these important features.



- Orchard & Demonstration Garden: The apple orchard behind the existing farmhouse/garage will be rehabilitated - – it is possible that this can be performed by the SHS Horticulture Team together with local volunteers. The trees are in good shape and are bearing fruit – excellent for future cider pressing! A demonstration garden for historical grains, vegetables and flowers is also planned near the house/garage.



### History

- Interpretive Center: The agricultural, environmental and cultural heritage of the Stanwood-Camano area will be celebrated in the 15,000 square foot barn which runs perpendicular to Highway 532. The space is large enough to display antique farm implements and potentially have educational displays and hands-on opportunities for families and students. It is unclear at this stage if the building will be remodeled or rebuilt.
- Heritage Event Barn: The smaller (4,000 sqft) of the two wooden barns will be rebuilt into an event Barn – while retaining a Heritage Barn “look”. This space is intended for small concerts, family reunions, weddings and other events.



## Community

- Picnic Areas, Playground & Public Art: The large grassy area parallel to Highway 532, and next to the boat launch access road, will be set aside for family activities and will include a playground and picnic areas. In addition, Public Art will be installed at key points throughout the park.
- Indoor/Outdoor Venue for Local Events: The largest building (17,000 sqft) will be transformed into an indoor/outdoor community event space for use by the Farmer’s Market, Art Festivals, Community Gatherings as well as regional uses.
- Multi-Purpose Community Space: A portion of the above building will be enclosed and will include restrooms, a kitchen and a meeting room.
- Large Open Grass Area/Amphitheatre/Stage: With the exception of the Heritage Event Barn, all of the remaining wooden dairy buildings will be removed and will be replaced by a large open grassy space that can be used as an amphitheatre or as an additional event space (potentially with temporary tents or kiosks). In addition, a portable stage may be set up for weddings, concerts or plays.
- FFA/4H Program and Display Space: The unfinished metal shed next to the parking lot is designated for use by the Stanwood High School Future Farmers of America and/or the local 4H or other youth agricultural organizations. The intention is to provide space for their programs as well as the opportunity for sharing these with the community.
- Offices/Working Space/Lodging: The current farmhouse and garage will be remodeled and/or rebuilt into office space for use by the Stanwood Parks Department and other regional partners. The potential for adding a small lodging space onto a second floor – for use during weddings or by a caretaker – will also be considered.
- Traffic Access & Parking: As mentioned, the final traffic access design is still to be determined. The parking lot, currently designed to accommodate approximately 60 -100 cars, will need to be paired with offsite festival and event parking.



## 10 HAMILTON LANDING MASTER PLAN

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Hamilton Landing is a 2-acre parcel located off of 98<sup>th</sup> Ave and adjacent to the Stillaguamish River. While it is smaller than the 15-acre Ovenell Park, it has an abundant history as a former lumber mill and therefore as an industrial influencer of Stanwood’s economic development. The iconic Hamilton Smokestack was built in 1927 to elevate the smoke from the burning refuse so it wouldn’t blow into town. The smokestack is still visible from Highway 532 all the way through Stanwood, and many children and adults alike delight in observing the lighted decorations, hung by the Stanwood Lions Club, at intervals throughout the year.

The Hamilton property is one of the few locations where residents and visitors can access the Stillaguamish River and view the unique marine estuary created by the confluence of the Stillaguamish River with Port Susan Bay and the surrounding tidal lands. There are territorial views of Port Susan Bay, Camano Island and the Olympics and the surrounding river properties are rich with birds and other wildlife.

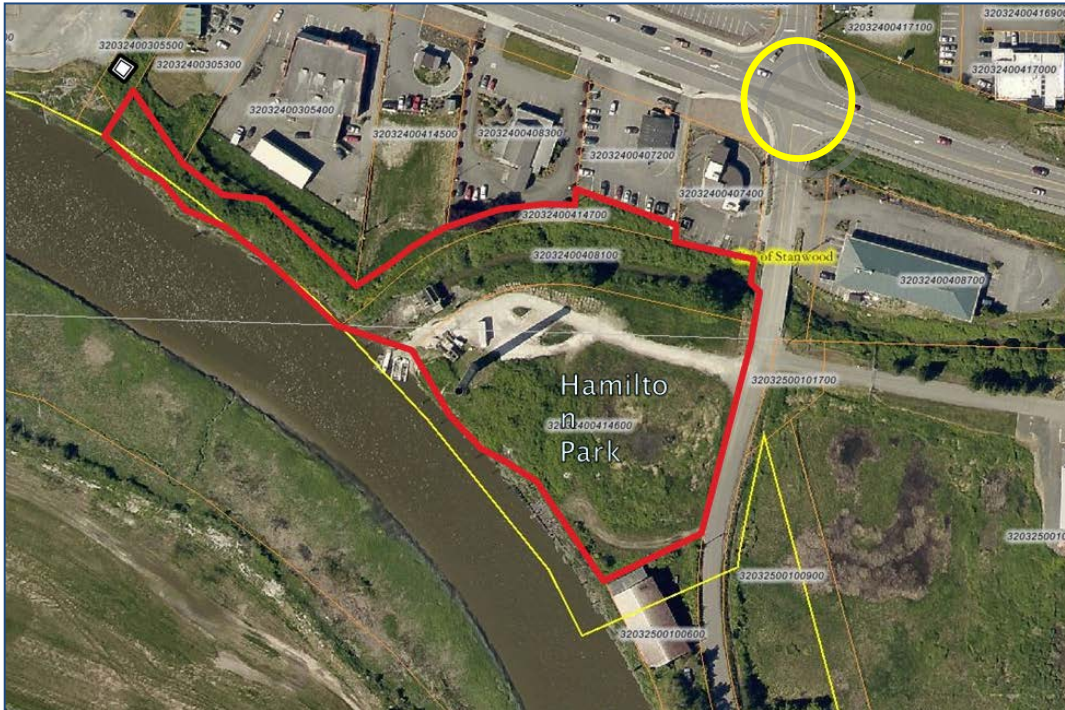
An unexpected feeling of tranquility belies its location behind several businesses located along highway 532. It is located across the river from the former Matterand Farm, now renamed Zis-A-Ba and owned by the Stillaguamish Tribe. An old dock is still located on the property, along with several additional remnants of the Hamilton Lumber Mill such as a “Bunker” and “Beehive Burner”.





### 10.1 HAMILTON LANDING TECHNICAL & TRAFFIC CONSIDERATIONS

While a formal wetlands study or traffic analysis have not been completed for the Hamilton property, there are several technical considerations that were taken into account as the Hamilton Landing Master Plan was developed.



#### Hamilton Landing Technical Considerations

- Stanwood Lions Club retains the right to hang seasonal decorations on the smokestack in the purchase agreement
- 98<sup>th</sup> Ave Intersection is designated “Service Level E”, which does not comply with City requirements
- Wetlands may exist in the center of the property
- Coastal Bank and the City are negotiating a property swap on the north side of Irvine slough
- Transocean currently leases the right to use the boat launch at the outflow of Irvine slough
- The slough outflow can be very turbulent at times, making it potentially dangerous for launching non-motorized craft
- The property has flooded as recently as March 2016

## 10.2 HAMILTON LANDING MASTER PLAN SCHEMATIC

The following Hamilton Landing Master Plan was developed by considering the Guiding Principles, along with the complementary uses already assigned to Ovenell Park. Guided by the technical considerations listed in the previous section, the Community Advisory Committee leveraged the surrounding beauty of the site along with its significant historical features.

While the economic implications of Hamilton Landing are less significant than Ovenell Park, they are still evident. The park has the potential for hosting community and family events, wildlife viewing, historical educational opportunities, walking trails, connecting with the river, nature and surrounding wildlife. Each of these has a positive economic impact and can draw local and regional visitors – especially when combined with Ovenell Park.



### Hamilton Landing Master Plan Elements

As with Ovenell Park, the Guiding Principles for Hamilton Landing are *Nature, History and Community*. The Master Plan includes elements in each of these vital categories, which are listed below and described further in the following pages.

#### Nature

- Walking trails
- Gated Boat Launch
- Open Space
- Restored Dock + Covered Kiosk
- Seasonal Non-Motorized Boat Launch Ramp

#### History

- Industrial Heritage Plaza
- Restored/Converted burner and bunker buildings

#### Community

- Parking
- Playground
- Restroom
- Picnic Area

### Hamilton Landing Master Plan



### 10.3 HAMILTON LANDING MASTER PLAN DETAILS

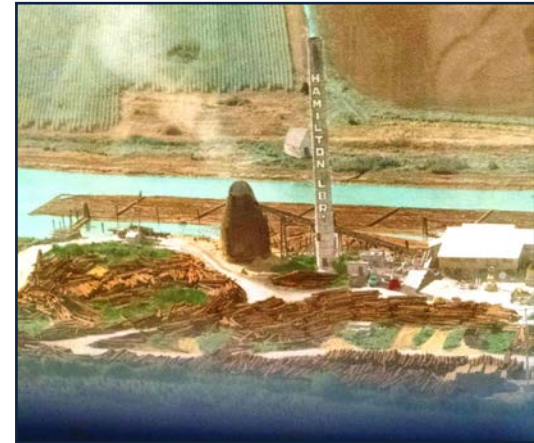
#### Nature

- Walking trails: Two walking trails will be included in Hamilton Landing. The River Frontage Trail will extend from the parking area towards the Industrial Heritage Plaza, across Irvine Slough and then along the river. The Irvine Slough Trail will lead back from the river, along the north side of the slough and connect with 98<sup>th</sup> Ave. ADA requirements will be included as these trails are designed.
- River Frontage and Open Space: The existing river frontage will be reclaimed and converted into a riparian habitat. In addition, identified wetlands will be restored and open space created.
- Gated Boat Launch: The current boat launch is located next to the Irvine Slough outflow, which can frequently cause significant turbulence. For safety reasons, it will be gated off and will be used for emergency purposes. The Fire District and other emergency personnel will have access keys.
- Restored Dock + Covered Kiosk: The current dock is in significant disrepair and will be replaced. A small fishing area will be included along with a covered kiosk for shelter and information.
- Seasonal Non-Motorized Boat Launch Ramp: Hamilton Landing has flooded as recently as March, 2016. Therefore a non-motorized hand-launch ramp will be seasonal in design so that it can be removed for the late fall, winter and early spring.



## History

- Industrial Heritage Plaza: The industrial heritage of the site will be celebrated in an Industrial Plaza which will include the iconic Hamilton Smokestack, the existing “bunker” building and a re-built “Beehive Burner”. Each of these buildings will be secured and will include historical signage and other displays. The local Lions Club will have access to the “Beehive Burner” for storage of their smokestack decorations and equipment. In addition, a viewing platform may be added to the “Beehive Burner”.



## Community

- Parking: The parking area will accommodate approximately 30 cars – with some additional parking available in a designated “Lions Club” parking lot (which can be gated off when necessary). A separate entrance and exit will be included for the parking area.
- Playground/Picnic Area: A small playground will be included in the open space – as will picnic spaces.
- Restroom: A restroom building will be designed in conjunction with the dock and will be ADA accessible.



## 11 OVENELL PARK & HAMILTON LANDING CONNECTIVITY

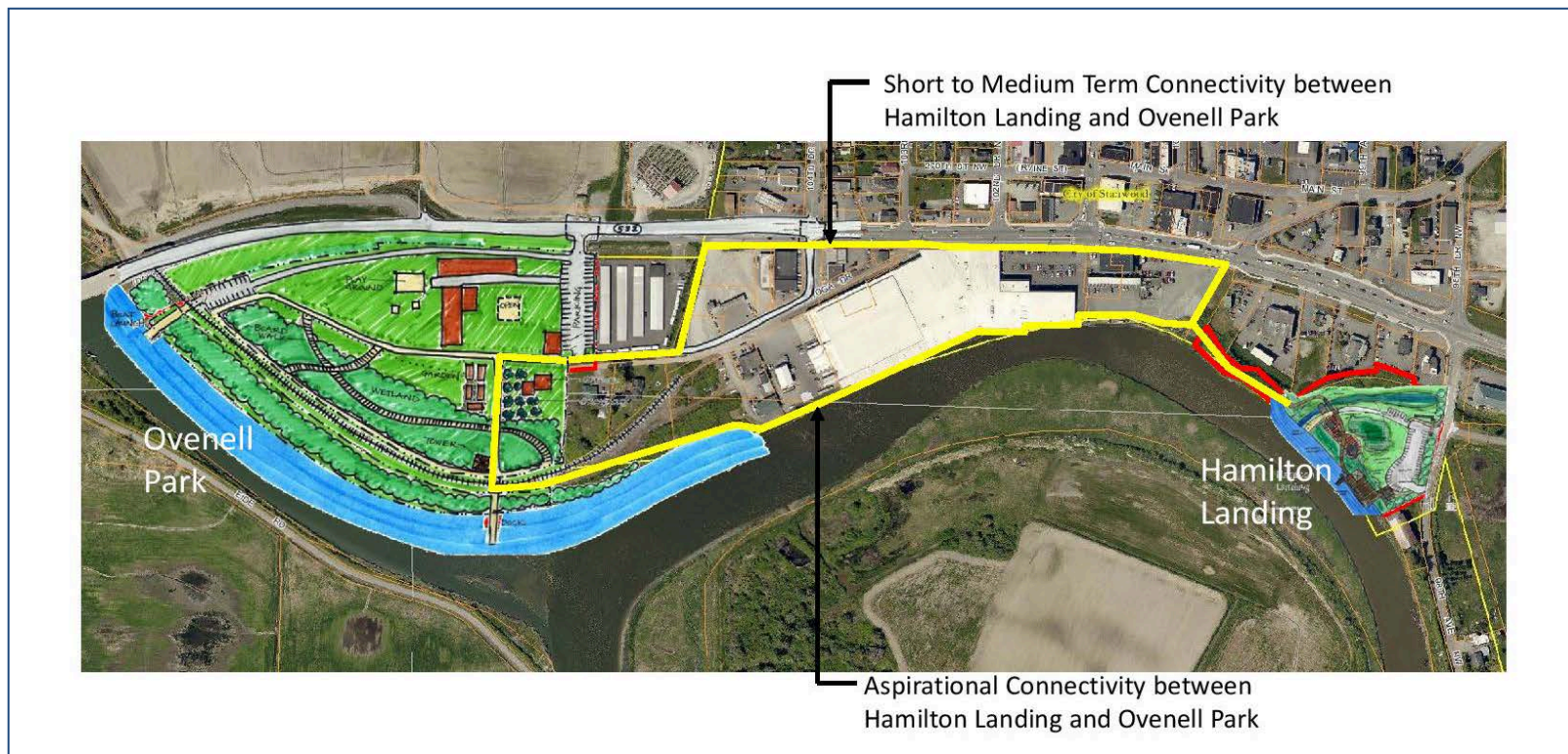
One of the most exciting aspects of Ovenell Park and Hamilton Landing is the potential to connect the two parks via walking trails. The following schematic shows two potential connectivity options. The City of Stanwood is currently developing a Non-Motorized Trails Plan, which will consider and plan for these potential trails options.

### Short-Medium Term

- Takes advantage of existing City sidewalks

### Longer Term/Aspirational

- A future riverwalk which could potentially extend behind Twin City Foods



## 12 IMPLEMENTATION BUDGET & TIMELINE

A high-level Implementation Budget and Timeline was developed for both parks by following these steps:

1. Create a list of all Capital Elements for each park (buildings, trails, parking, etc)
2. Estimate costs for each element based on past City Staff and Architectural experience
3. Place each element on a calendar and developed phases
4. Review and update with Technical Advisory and Community Advisory

While this is necessarily a preliminary framework, it does provide a starting point for future activities such as Grant Applications, Partnerships and Immediate Next Steps. *The detailed Budget, Phasing and Timeline Spreadsheets are included in Appendix F.*

|   |                      |
|---|----------------------|
| <b>Hamilton</b>                                   | <b>\$ 6,640,000</b>  |
| <b>Design, Engineering &amp; Permitting (20%)</b> | <b>\$ 1,328,000</b>  |
| <b>Hamilton Total</b>                             | <b>\$ 7,968,000</b>  |
| <b>Ovenell</b>                                    | <b>\$ 15,880,000</b> |
| <b>Design, Engineering &amp; Permitting (20%)</b> | <b>\$ 3,176,000</b>  |
| <b>Ovenell Total</b>                              | <b>\$ 19,056,000</b> |
| <b>FULL TOTAL</b>                                 | <b>\$ 27,024,000</b> |

### ***Budget & Timeline: BY THE NUMBERS***

1. **Timeline:** 10 Years
2. **# Capital Elements:** 53  
(Hamilton 24 + Ovenell 29)
3. **# Capital Element Categories:** 6  
(Community, Greenspace, Trails, River Access, Buildings, Traffic)
5. **Phases**
  1. **PHASE 1:** 2016 – 2018, \$9.06 M  
Clean Up, Site Security & Early Public Use
  2. **PHASE 2:** 2019 – 2021, \$13.164 M  
Establish Wetlands, Trails & River Access, Start Construction
  3. **PHASE 3:** 2022 – 2025, \$4.8 M  
Building Construction & Final Traffic Access

## 12.1 POTENTIAL FUNDING & RESOURCES

While the estimated budget for implementing Ovenell Park and Hamilton Landing is significant, there are many funding opportunities at the Federal, State and County levels as well as from Corporations, Foundations, Families and the local community. Following is a list of potential funding sources:

### **Federal, State & Local Grants**

- ALEA
- WWRP
- Other RCO
- Surface Transportation Funding (STP)
- Transportation Improvement Board (TIB)
- WDFW
- Community Development Block Grant
- Snohomish County
- Snohomish County Tourism (TPA)
- Legislative Proviso
- State Budget Allocations
- National Endowment for the Arts

### **Foundations**

- DV & Ida J McEachern Charitable Trust
- Brandt Foundation

### **Naming Opportunities**

- Buildings & Docks
- Trails
- Kiosks
- Benches/Viewpoints
- Trees

### **Organizations**

- Puget Sound Regional Council
- Northwest Marine Trade Association
- Ducks Unlimited
- Nature Conservancy
- Washington Kayak Club
- Audubon Society
- Solar Grants
- Americorps
- Northwest Straights Commission
- Puget Sound Nearshore Ecosystem Restoration Project
- Snohomish County Marine Resources Commission
- Adopt A Stream
- Sound Salmon Solutions
- United Way Connect To Nature

### **Other**

- Wetland Mitigation (from other developments)
- Businesses
- Families/Individuals
- Community Participation
- In-Kind Gifts (materials, skills, labor etc)



## 12.2 POTENTIAL PARTNERSHIPS

One of the Master Plan's Guiding Principles is that the parks are to be *"maintained through community partnerships and programs - and are designed for safety, low maintenance and low operating costs"*. During the development of the Master Plan, a conscious effort was made to reach out to potential partnering organizations. These parks provide a unique opportunity to partner with local and regional organizations in the development and maintenance of the parks. For example, the proposed office space at Ovenell Park could house a regional organization, who in turn could implement and manage on-site programs that benefit the local community and help to maintain the park.

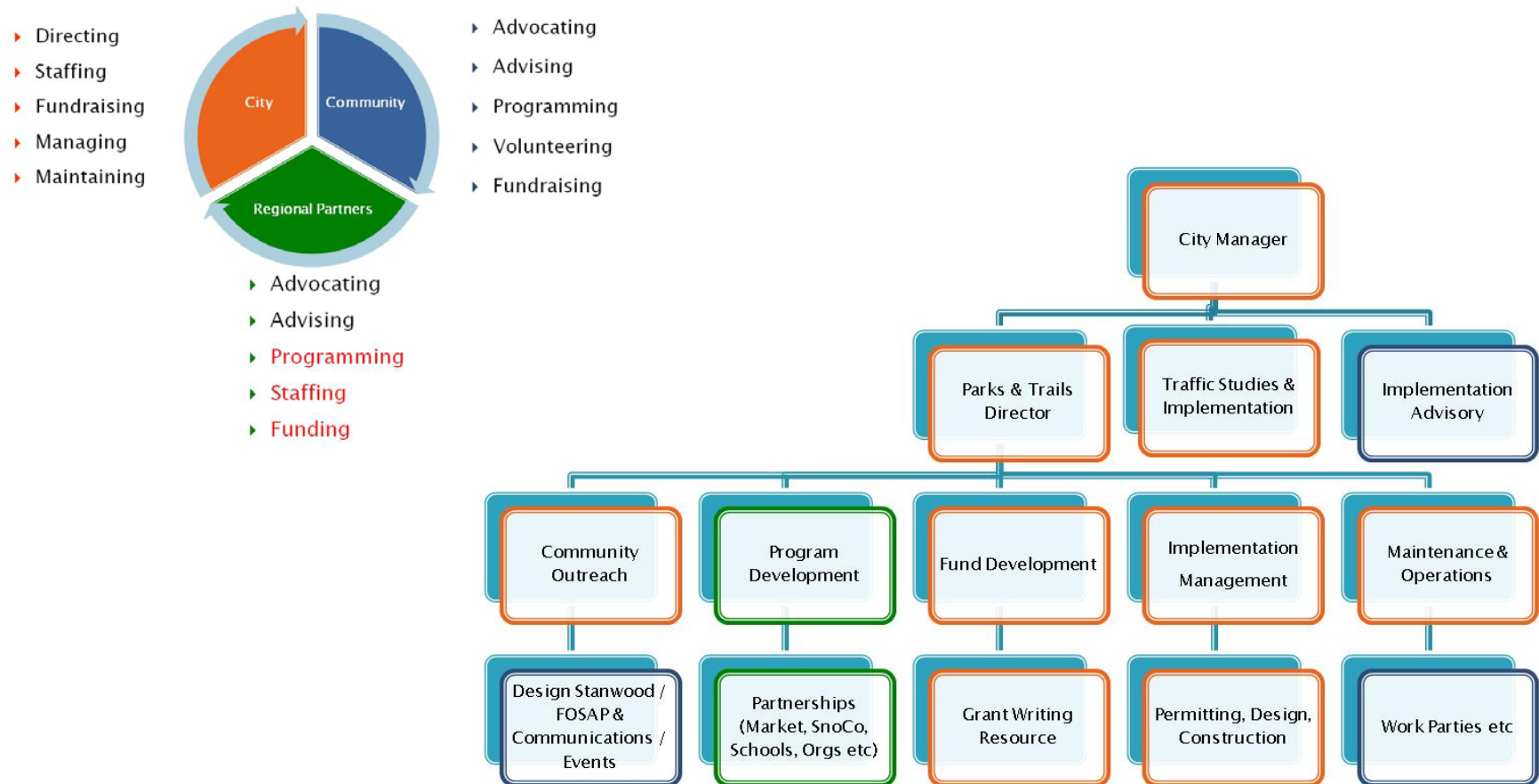
The following organizations have been involved to date and have expressed interest in some level of partnership:

- Snohomish County Conservation District
- PUD
- Stanwood Area Historical Society
- Port Susan Farmers Market
- Stillaguamish Tribe
- Washington Water Trails Association
- Stanwood-Camano School District
- Stanwood Chamber of Commerce
- Camano Island Chamber of Commerce
- Stanwood Lions Club

### 12.3 IMPLEMENTATION STRUCTURE & RESOURCES

Collaboration will be the key to successfully implementing both of these tremendous park plans. As outlined in the graphics below, the City of Stanwood, the local community and regional partners each have a role to play. The most critical aspect will be engaging key partners in the development and operation of these two parks – as shown in green.

## Collaboration = The Path to Success



#### 12.4 IMMEDIATE NEXT STEPS

Maintaining the momentum generated by the inclusive and collaborative Master Planning process will be a key factor in bringing these plans to fruition. The following steps are recommended in order to obtain early funding, demonstrate progress, and keep volunteers and expert resources engaged.

1. Apply for **ALEA and WWRP Grants** in May, 2016 for potential funding in 2017
2. Form a **Friends of Stanwood Area Parks** Volunteer support organization that can maintain volunteer momentum, start hosting work parties and start fundraising
3. Form an **Implementation Advisory Committee** to review the implementation plans in detail , adjust where necessary and engage regional and community partners; develop a strong sense of where funding could come from for each park element
4. Prepare **Communication Materials** and give presentations to local organizations and business groups
5. Host **Clean Up Work Parties** to start preparing the sites for tours and to cut back invasive plants
6. Build/Install **Information Kiosks & Signage** for public tours
7. Organize **“Last Saturday” Tours** for the summer (June 25, July 30, Aug 27, Sep 24, Oct 29)



## **13 APPENDICES**

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The following appendices contain supporting data for the Ovenell Park and Hamilton Landing Master Plans:

**13.1 A: OPEN HOUSE FEEDBACK**

**13.2 B: COMPARABLE PARK TOUR NOTES & RESULTS**

**13.3 C: GUIDING PRINCIPLES PROCESS & RESULTS**

**13.4 D: PRIORITY USES PROCESS & RESULTS**

**13.5 E: OVENELL PARK DETAILED SCHEMATIC**

**13.6 F: BUDGET & TIMELINE DETAILED SPREADSHEETS**