



# REPORT TO MAYOR AND COUNCIL

**PRESENTED:** MAY 7, 2007 - REGULAR MEETING  
**FROM:** COMMUNITY DEVELOPMENT DIVISION  
**SUBJECT:** REZONING APPLICATION NO. 100276  
(THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS)

**REPORT:** 07-79  
**FILE:** 08-26-0094

## PROPOSAL:

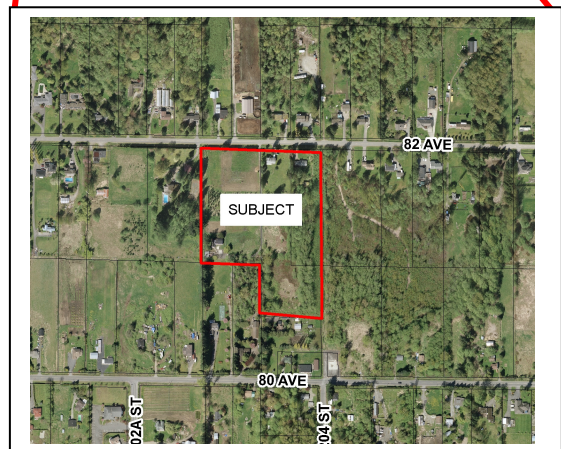
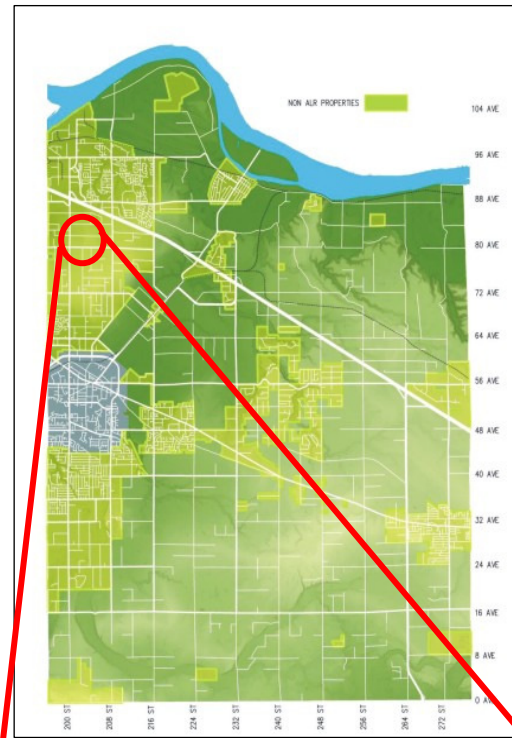
Rezoning of property located at 20344, 20380 and 20388 – 82 Avenue to Civic Institutional Zone P-1 to permit development of a temple, meetinghouse and residence for the Church of Jesus Christ of Latter-Day Saints.

## RECOMMENDATION SUMMARY:

Council give first and second reading to Bylaw 4590 with completion of five (5) development prerequisites prior to final reading.

## RATIONALE:

The proposal complies with the Willoughby Community Plan, Yorkson Neighbourhood Plan and the Township's "Locational Guidelines for Religious Assembly Use".



**RECOMMENDATIONS:**

**That** Council give first and second reading to Rezoning Bylaw No. 4590 rezoning 4.76 ha (11.77 acres) of land located at 20344, 20380 and 20388 – 82 Avenue to Civic Institutional Zone P-1, subject to the following development prerequisites being satisfied prior to final reading:

1. Completion of a Servicing Agreement providing full services to the site (including provision of a storm water management plan, roadworks, and greenway improvements), in accordance with the Township's Subdivision and Development Control Bylaw, to the acceptance of the General Manager of Engineering;
2. Provision of road dedications, widenings, and necessary traffic improvements to the acceptance of the General Manager of Engineering (including securing an approximate 1.0 metre road widening for 82 Avenue and an 11.0 metre dedication for 204 Street) in accordance with Schedule B (P-1 Map) of the Township's Subdivision and Development Control Bylaw No. 3650 (Policy Section), as amended to reflect this requirement;
3. Compliance with the Township's Tree Protection Bylaw including provision of a final tree protection plan incorporating tree retention, replacement and protection details, to the acceptance of the Manager of Parks, Design and Development;
4. Provision of greenway dedications and security for greenway construction (on a dedicated 4.5 metre wide greenway adjacent to 82 Avenue) to the acceptance of the Manager of Parks Design and Development, including final acceptance of greenway design plans, sidewalk/trail alignment, and landscaping details;
5. Payment of applicable Neighbourhood Planning Administration fees, and remaining Rezoning fees; and further

**That** Council authorize staff to schedule the required public hearing.

**EXECUTIVE SUMMARY:**

The Abbarch Partnership Architects has applied (on behalf of The Church of Jesus Christ of Latter-Day Saints) to rezone 4.76 ha (11.77 acres) of land in the Yorkson area to Civic Institutional Zone P-1. The proposed rezoning is consistent with the Willoughby Community Plan, Yorkson Neighbourhood Plan and the Township's "Locational Guidelines for Assembly Use".

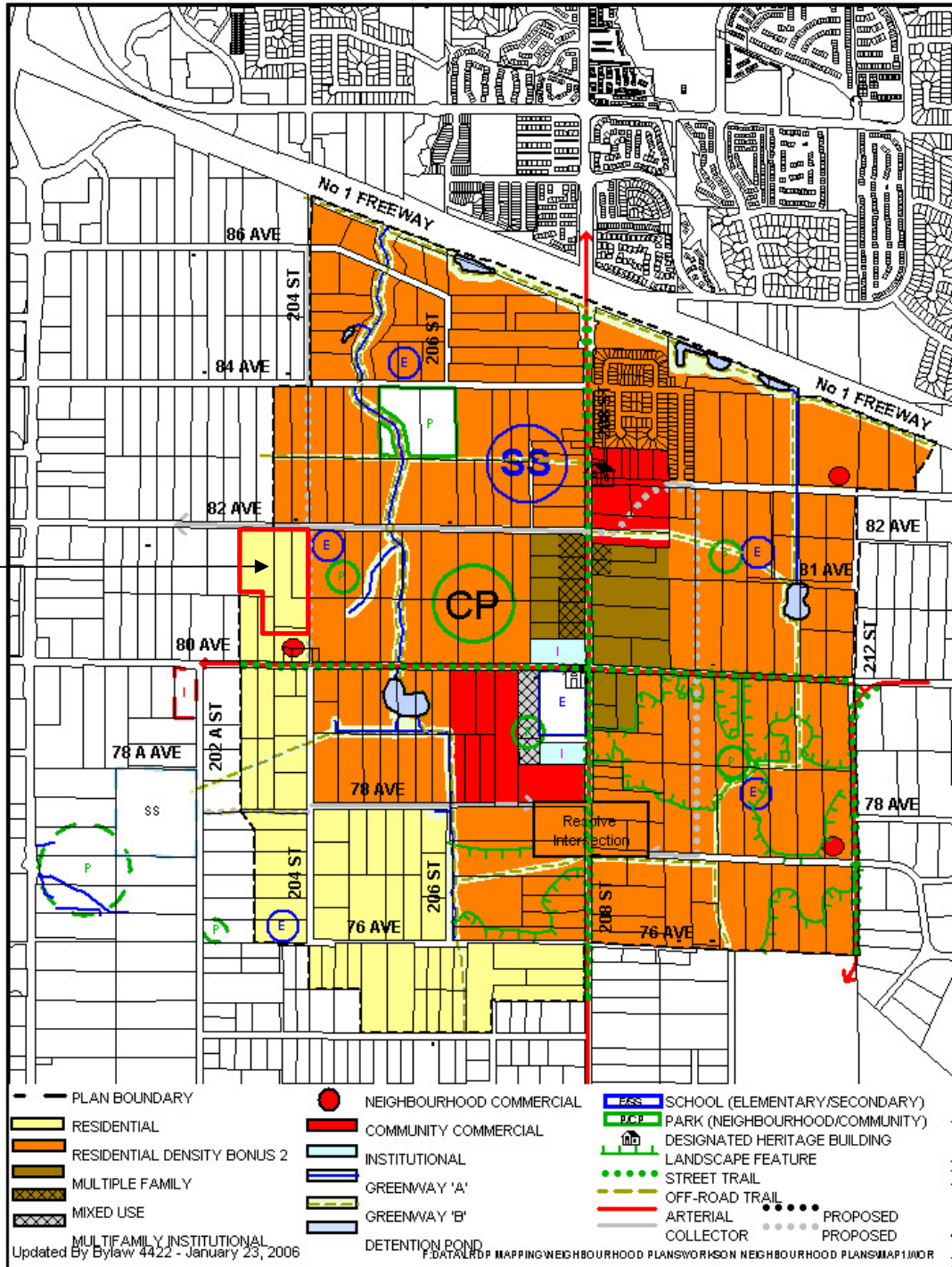
The proposed rezoning will accommodate the development of a temple, meetinghouse, and residence for The Church of Jesus Christ of Latter-Day Saints. Final reading of the rezoning bylaw should be contingent upon completion of the development prerequisites outlined in this report.

**PURPOSE:**

This report advises and makes recommendations to Council concerning the Latter-Day Saints rezoning application for property located in the Yorkson area of Willoughby.

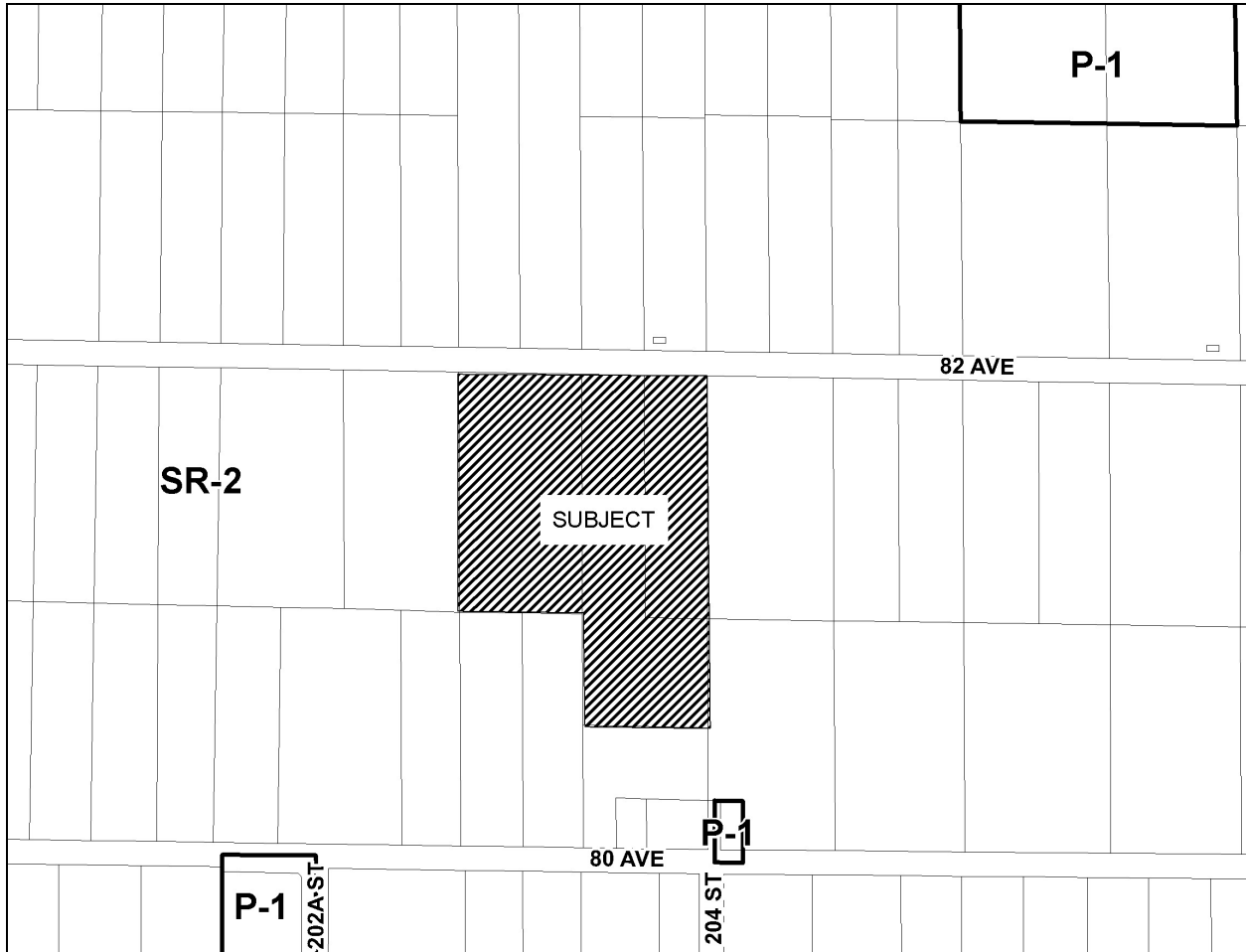
YORKSON NEIGHBOURHOOD PLAN  
 MAP 1 - LAND USE CONCEPT

SUBJECT



YORKSON NEIGHBOURHOOD PLAN

**ZONING BYLAW NO. 2500**





**Temple Rendering**



**Meetinghouse Rendering**

**ADDITIONAL INFORMATION:**

**REFERENCE:**

**Owner:** The President of the Lethbridge Stake of  
The Church of Jesus Christ of Latter-Day Saints  
314 – 3<sup>rd</sup> Street South  
P.O. Box 757  
Lethbridge, Alberta T1J 3Z6

**Applicant:** The Church of Jesus Christ of Latter-Day Saints  
50 E. North Temple Street, Room 1100  
Salt Lake City, Utah 84150-6300  
  
(Alan Rudolph, Project Manager)

**Agent:** The Abbarch Partnership Architects  
Suite 1830, One Bentall Centre  
505 Burrard Street, Box 79  
Vancouver BC V7X 1M6

**Legal Description:** Lot 39 Section 26 Township 8  
New Westminster District Plan 37368  
  
Lot 5 Except: Firstly: Parcel “A” (Explanatory Plan 34309)  
Secondly: Plan 37368 South West Quarter Section 26  
Township 8 New Westminster District Plan 12426  
  
Parcel “A” (Explanatory Plan 34309) Lot 5 Section 26  
Township 8 New Westminster District Plan 12426

**Location:** 20344, 20380 and 20388 – 82 Avenue

**Area:** 1.92 ha (4.74 acres) - Lot 39  
1.88 ha (4.65 acres).- Remainder Lot 5  
0.96 ha (2.38 acres).- Parcel “A”  
4.76 ha (11.77 acres).- Total Site

**Existing Zoning:** Suburban Residential Zone SR-2

**Proposed Zoning:** Civic Institutional Zone P-1

**Yorkson Neighbourhood Plan:** Residential  
(maximum density 15 units per ha / 6 units per acre)

**E.S.A. Designation:** E.S.A.# 061 – Willoughby and Willowbrook Area  
(Rating - #3)

**DISCUSSION/ANALYSIS:**

The subject properties are located on the western edge of the Yorkson Neighbourhood Plan, and are designated for Residential purposes (maximum density of 15 units per ha / 6 units per acre). An east/west greenway is designated across the frontage of the three lots (along the south side of 82 Avenue). All three lots were previously used for suburban residential purposes, and are zoned Suburban Residential (SR-2). The buildings on each property have been removed in preparation for redevelopment of the site.

Surrounding land uses include:

- 82 Avenue to the north, beyond which are suburban residential uses (zoned SR-2); and
- suburban residential uses to the east, south (fronting onto 80 Avenue), and west (all zoned SR-2)

Properties to the north and east of the subject lands which are located in the Yorkson Neighbourhood Plan are designated Residential Density Bonus 2. Lands to the south are also included in the Neighbourhood Plan, and are designated Residential. Although not included in the Yorkson Neighbourhood Plan, properties to the northwest and west of the subject lands are designated for future Residential purposes in the Willoughby Community Plan.

**Yorkson Neighbourhood Plan :**

Although the subject lands are designated for Residential purposes in the Yorkson Neighbourhood Plan, Section 4.2.8 of the Plan states:

*“Institutional development shall be permitted in any land use designation in Map 1. Notwithstanding this, Institutional uses should be sensitively located and designed to maximize accessibility, minimize conflicts with surrounding land uses, and limit opportunities for traffic filtering through neighbourhoods. Large scale Institutional uses, such as churches or senior secondary schools, should be encouraged to locate along arterial or collector road to minimize land use and traffic conflicts.”*

Staff note that 82 Avenue (which borders the north edge of the site) is designated as a collector road in the Yorkson Neighbourhood Plan. The Plan also identifies 204 Street (along the east edge of the site) as a future collector road. The proposed rezoning of the site to Civic Institutional Zone P-1 is therefore consistent with the Neighbourhood Plan. The rezoning also complies with the Township’s “Locational Guidelines for Assembly Use” which provide for assembly uses to be located in designated urban areas and on the perimeter of proposed single family residential designated lands where access is available from an arterial or collector road.

**Proposed Development:**

As part of the rezoning application, the applicant has submitted supporting information outlining the proposed development. The applicant’s architect has supplied a “Design/Construction Rationale” (see Attachment A), along with a site plan, preliminary building elevations/ floor plans, and landscape and signage plans (see Attachment C – Proposed Development Plans). The Church intends to construct three main buildings, consisting of a temple, meetinghouse and temple president’s residence.

The Temple is considered a sacred structure and is the most significant building in the organization of the Church and the religious life of its members. The proposed building will have a total floor area of 1,770 m<sup>2</sup> (19,053 ft<sup>2</sup>) located on two levels (plus a partial basement), with a seating capacity of 101 people. The temple contains various rooms designed for specific functions and ceremonies (religious instruction, marriages, baptisms, etc.), and is not a general worship space used for large gatherings. The temple is in fact closed on Sundays. This particular temple will serve Church members from throughout BC, who currently must travel to the nearest temple in Seattle or to Alberta. (Other temples in Canada are located in Cardston (Alberta), Edmonton, Regina, Brampton, Montreal and Halifax.)

The building is of high quality design and materials (concrete structure with light coloured granite exterior cladding and stained glass). The majority of the building is 13.7 metres (45 ft.) in height, with some higher architectural elements (including a spire topped with a gold leafed fiberglass angel statue which reaches a height of 36.25 metres / 119 ft.). The Church proposes to illuminate the temple at night (until 11:00 p.m.), and has submitted supporting information concerning the type of lighting and proposed illumination levels (see Attachment B). Although the proposal is not subject to the Township's "Exterior Lighting Impact Policy" (as it is not a commercial or industrial development), its lighting nonetheless will be designed to be contained within the site, without spilling light onto adjacent sites.

The Meetinghouse is a single storey building (1,524 m<sup>2</sup> /16,405 ft<sup>2</sup>) which is the centre for the local congregation. It is used for regular Sunday worship (seating capacity 259 people), instruction and other social and recreational activities, and will replace the current facility located at 20030 – 82 Avenue.

The Temple President's Residence is a two bedroom single family house with attached double garage. It will be designed to complement the appearance of the meetinghouse, and will be occupied by the temple president.

The proposed development's siting, lot coverage (6%) and parking (212 spaces) comply with the Civic Institutional (P-1) zoning being proposed for the site.

### **Servicing:**

The development site will be required to provide full municipal services in substantial compliance with the Township's Subdivision and Development Control Bylaw. This will include dedication of a 1 metre road widening on 82 Avenue, and dedication of 11 metres for the west half of 204 Street. The applicant will be required to enter into a servicing agreement with the Township prior to final reading, which will include road and utility upgrades/extensions and a stormwater management plan. An on-site interim stormwater detention facility will be required at the Building Permit stage, which will serve this site until a community stormwater detention facility has been developed. Provisions for the future decommissioning of the interim stormwater detention facility will be required as part of the Servicing Agreement.



**Greenways:**

As part of the rezoning application, the applicant will be required to install a greenway (including a shared use trail and landscaping) parallel to 82 Avenue across the entire frontage of the site. Details of the greenway improvements will need to be addressed and secured through a Servicing Agreement to the acceptance of the Manager of Parks Design and Development prior to final reading of the rezoning bylaw.

**Tree Protection:**

A tree survey and assessment report was provided by the applicant's landscape architect. The submitted information indicates that 219 significant trees exist on the site with 108 proposed to be retained /relocated. In accordance with the Township's Tree Protection Bylaw a total of 22 replacement trees are required to be planted. The landscape plan proposes planting of 22 replacement trees within the landscape areas. Final tree retention, protection, and replacement plans in accordance with the Township's Tree Protection Bylaw are subject to the final acceptance by the Manager of Parks Design and Development.

**Transit:**

Transit has not yet been extended to the Yorkson area. However, the nearest bus service is currently provided at approximately 202A Street and 80 Avenue, and along the 200 Street corridor (approximately four blocks to the west). The road layout of the Yorkson neighbourhood has been designed to accommodate the provision of future transit routes in accordance with Translink's operating policy/procedures which Council each year is given an opportunity to review.

**Environmental:**

The Township's Environmentally Sensitive Areas (E.S.A.) Study identifies the site as forming part of the Willoughby and Willowbrook area. Prior to final reading of the rezoning bylaw, the applicant will be required to provide full urban services to the site.

A stormwater management plan and sediment control measures will also be required as a prerequisite of the future building permit application, which will also be required to address changes to on-site drainage resulting from proposed future construction, as well as compliance with the Township's Erosion and Sediment Control Bylaw.

The provision of these items and compliance with the Township's Tree Protection Bylaw satisfy the management guidelines identified in the Township's Environmentally Sensitive Areas Study. There are no watercourses on or adjacent to the site.

**Development Prerequisites:**

Prior to final reading of the rezoning bylaw, the following items must be finalized:

1. Completion of a Servicing Agreement providing full services to the site (including provision of a storm water management plan, roadworks, and greenway improvements), in accordance with the Township's Subdivision and Development Control Bylaw, to the acceptance of the General Manager of Engineering;

2. Provision of road dedications, widenings, and necessary traffic improvements to the acceptance of the General Manager of Engineering (including securing an approximate 1.0 metre road widening for 82 Avenue and an 11.0 metre dedication for 204 Street) in accordance with Schedule B (P-1 Map) of the Township's Subdivision and Development Control Bylaw No. 3650 (Policy Section), as amended to reflect this requirement;
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5. Payment of applicable Neighbourhood Planning Administration fees, and remaining Rezoning fees.

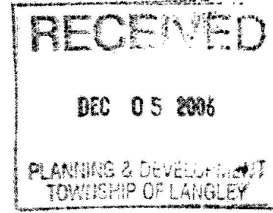
**POLICY CONSIDERATIONS:**

The proposed development's P-1 zoning complies with the Yorkson Neighbourhood Plan and the Township's "Locational Guidelines for Assembly Use". The proposed Development Permit is supported by staff. Staff recommends that the rezoning application be considered subject to the five (5) development prerequisites listed in this report being satisfied prior to final reading.

Respectfully submitted,

Robert Knall  
SENIOR DEVELOPMENT PLANNER  
for  
COMMUNITY DEVELOPMENT DIVISION

- |              |  |
|--------------|--|
| Attachment A | Design / Construction Rationale  |
| Attachment B | Temple Illumination Details  |
| Attachment C | Proposed Development Plans<br>Temple rendering<br>Meetinghouse rendering<br>Key Site Plan<br>Signage Plan<br>Temple Floor Plans<br>Meetinghouse Floor Plan<br>Temple President's Residence Floor Plan<br>Ancillary Enclosures – Plans & Elevations<br>Temple Exterior Elevations<br>Meetinghouse Exterior Elevations<br>Temple President's Residence Exterior Elevations |



The Church of Jesus Christ of Latter-day Saints  
Vancouver Temple  
Development Application to the Township of Langley:  
**Design/Construction Rationale**

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1. INTRODUCTION

The Church of Jesus Christ of Latter-day Saints (LDS) is applying for permission to construct a temple, meetinghouse, and temple president's residence with associated ancillary structures and site development at 82<sup>nd</sup> Avenue and 204<sup>th</sup> street in the Township of Langley.

2. BUILDINGS

The Temple

The temple is the most significant building in the organisation of the Church and the religious life of its members. There are currently one hundred and twenty-four operating temples worldwide, the oldest dating from 1877. There are a further ten either under construction or announced, the subject of this application being the most recent. By comparison, there are thousands of meetinghouses with several being opened each month as the Church grows.

The temple differs from other church buildings in that it is designated for particular functions and ceremonies, such as religious instruction, marriages, baptisms and the sealing of family relationships. It is not used for large gatherings, and is, in fact, closed on Sundays.

Everything in the design and operation of a temple building is intended to emphasise and support its sacred character. The layout consists of rooms designed for specific functions rather than a general worship space. Members entering the temple change into white temple clothing, symbolic of purity and reverence and emphasising that the temple is a place removed from the everyday world. Absence of distracting noise within the building is very important. Thus, interior wall configurations are designed for high acoustical performance, interior mechanical equipment is isolated and the air-conditioning chiller removed to a separate enclosure outside.

The Church designs its temple buildings to be both beautiful and durable. Materials, components and systems are of high quality, and the finest craftsmanship is required for construction. This will be a concrete structure, with a light-coloured granite exterior cladding, and detailing and stained glass design unique to this building. At the same time the colour and materials palette is kept simple and harmonious. Temple interiors are characterised by meticulous detailing of wood and millwork, high quality lighting, custom-designed murals and furnishings.

*The ABBARCH Partnership Architects*

With an emphasis on lightness and light in the character of the building, the Church illuminates all its temples at night, and proposes to do so in this case. The Church can show many examples of nighttime illumination that enhances the view of the building without spilling over into adjacent properties. It is standard Church policy to turn lights off at 11:00 p.m.

#### The Meetinghouse

The LDS meetinghouse is the centre for the local congregation. It houses regular Sunday worship, instruction and other social and recreational activities.

This meetinghouse is a single-storey structure, based on a template used for other Church meetinghouses. While not as significant as the temple, the meetinghouse is nevertheless intended to be an attractive, high quality building. It will be a wood structure. The roof cladding will be metal shingles, and exterior walls will be brick facing in a colour that harmonises with the temple's granite cladding, and metal roof shingles. Trim will be simple and coloured white.

#### The Temple President's Residence

It is customary for a temple president to live on site, and the P1 zoning proposed allows for a single-family residence along with the institutional use. The residence is a single-storey two-bedroom house with attached double garage. The pitched roof will be clad in metal shingles to match the meetinghouse, the walls in a combination of fibre cement siding and brick to match the meetinghouse. The door and window frames and exterior trim will be white to match the meetinghouse.

#### Ancillary Structures

A combined structure will house the enclosure for the external chiller and emergency generator, as well as garbage enclosure and general-purpose storage shed for the meetinghouse. The enclosure floor level will be approximately one metre below grade in order to reduce the visual impact of the enclosure, which will be brick-clad to match the meetinghouse. The garbage enclosure and shed will also be brick-clad.

### 3. SITE DESIGN

#### Landscape Design Approach

The meticulous approach to the design of the building extends to its grounds, which are intended to support the distinct and sacred atmosphere of the place. The planting around the temple is generous and varied. The hard surface detailing and site furniture are of high quality.

*The ABBARCH Partnership Architects*

2

The site layout radiates out from the temple with a deliberate formality. The oval form dominating the layout relates to the proportions of the temple building's footprint. A central axis line emphasises the near-symmetry of the layout, and contains a series of small plazas, the most significant of which is at the temple's front door. While this plaza is the physical termination of the axis within the site, it makes a visual connection from the site interior to the public realm with a small plaza, aligned with the axis, at the intersection of 82 Avenue and future 204 Street.

The temple building itself is within a fenced and gated oval enclosure, also including a path, benches and planting. This enclosure emphasises again the separateness from everyday life of the temple and the work done therein. Outside this fence the remainder of the site and meetinghouse are open to the world, with no fences along the public streets.

The planting is decorative and manicured in the immediate area of the temple, including groomed lawn and annual beds, and makes a transition to a less formal treatment, including rough grass with wildflowers at the southwest and west edges of the site away from the public streets. Tree planting along the street edges is consistent with good local standards including shrub plantings at the Greenway. In addition to the maximum viable retention in place of existing significant trees, there are a number of existing smaller trees that are suitable for transplanting and reuse on site.

#### Building Placement

The temple building is the focal point of the complex, and is thus sited to be most prominent. The temple entry faces the intersection of 82 Avenue and future 204 Street. This is both to draw the eye to the entry, and to relate the building to the intersection itself. The long axis of the temple runs from the street intersection through the entry and centre of the building to the main entry of the meetinghouse, which is set back at the south west corner of the site. The residence is close to the 204 Street entrance. The buildings are spaced as far apart as site configuration allows, since the temple needs to be visually and symbolically distinct from the rest of the development.

#### Circulation

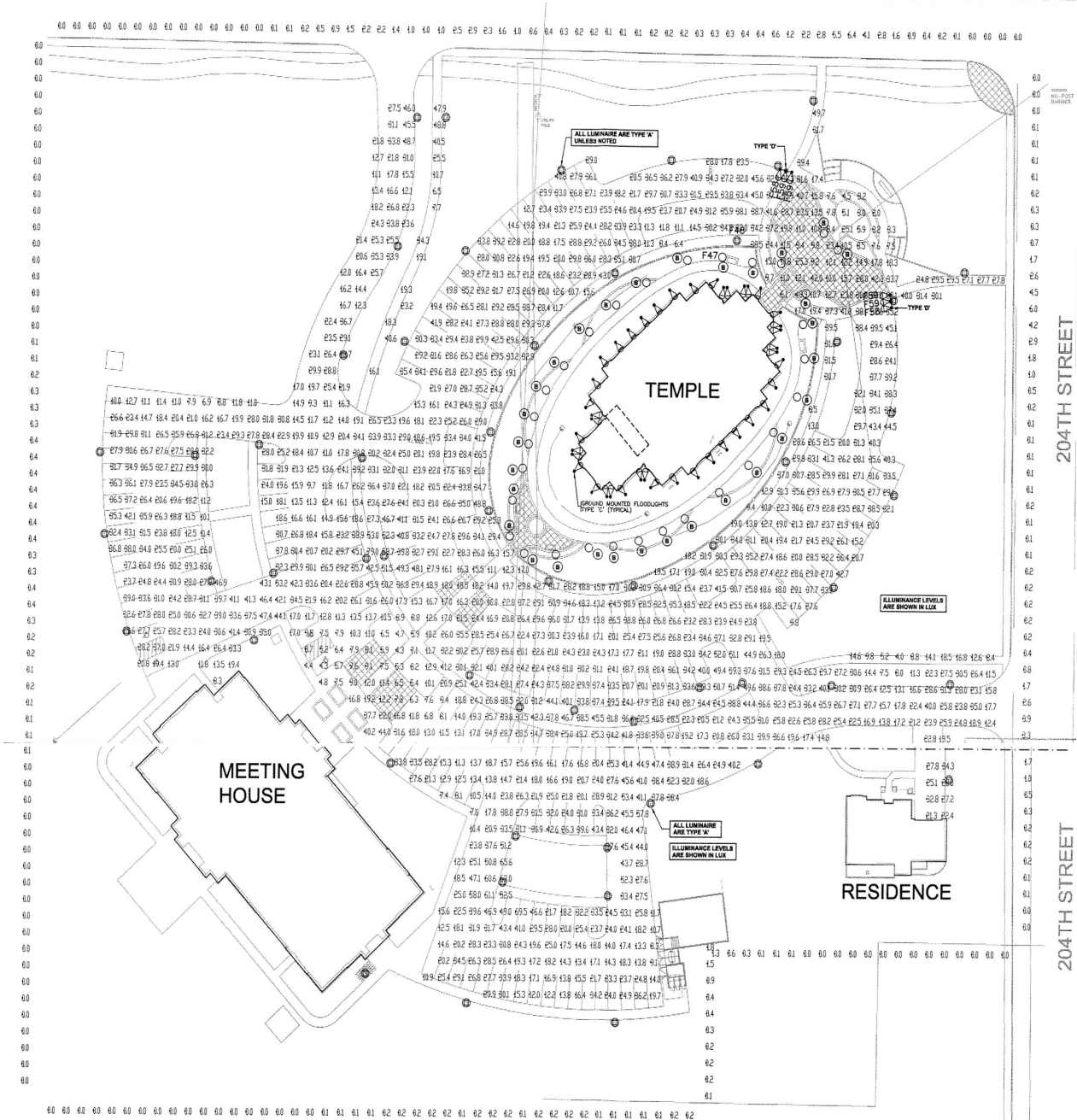
82 Avenue and 204 Street are both collector roads. Anticipating similar traffic loads for each road in terms of travel to the temple and meetinghouse, and given the placement of the temple building with regard to the intersection, it makes sense to have site entries from each street. Within the site, the two entries form the ends of a vehicle driveway loop that leads past the meetinghouse entrance and the president's residence. This outer loop is designed for tour bus access to the meetinghouse. The outer loop connects at two points to an inner driveway loop that is completely contained within the site and surrounds the temple. The inner loop is not sized for buses, but does conform to Building Code requirements for fire appliance access. Both loops function as parking aisles for part of their lengths.

There are four pedestrian entry points to the site, two for each street. The two entries that are further away from the street intersection form the end of a sidewalk loop that follows the same course as the outer driveway loop. The other two entries form the ends of a smaller loop that leads to the temple's front door while forming the edge of the temple entrance plaza. There are two internal sidewalk loops around the temple building itself. One is inside the temple fence, and one outside to provide access from the parking areas to the temple entrance. A small plaza at the back of the temple is the starting point of a sidewalk that runs straight along the main site axis to the meetinghouse entry plaza, thus providing a strong visual as well as physical link between the buildings. Outside the site, the pedestrian entries will all link to public paths, including a portion of the Township's Greenway along the 82 Avenue frontage.

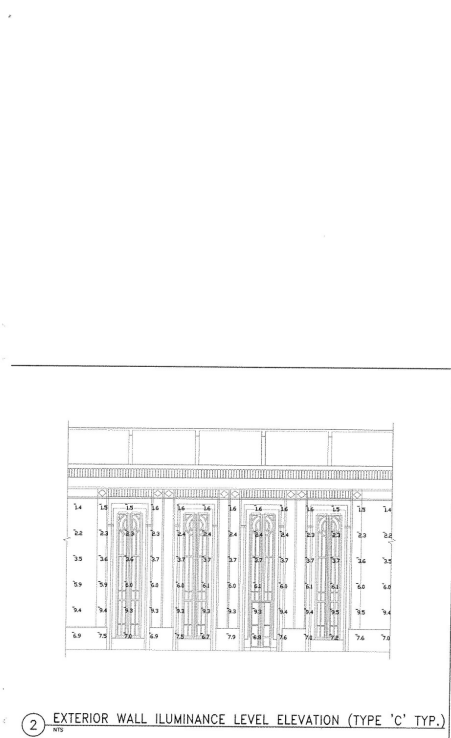
December 2006

*The ABBARCH Partnership Architects*

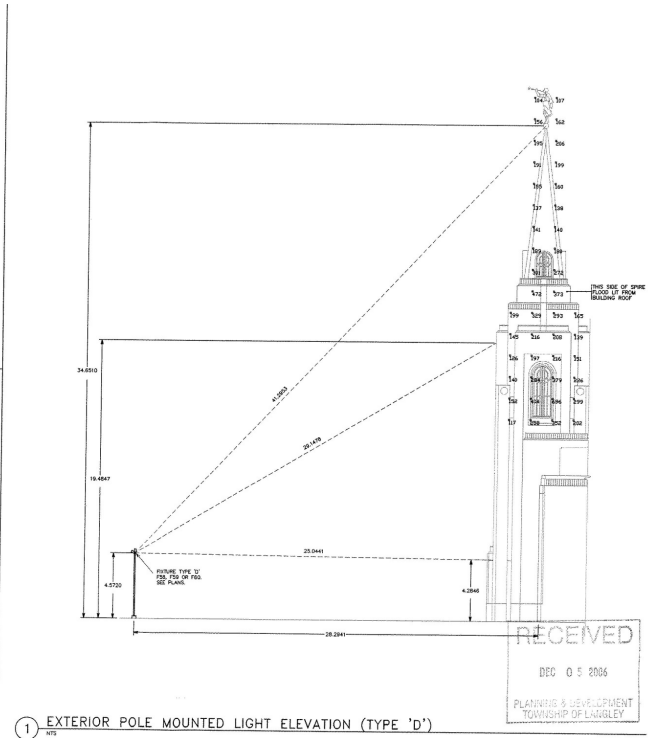
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# TEMPLE ILLUMINATION DETAILS



2 EXTERIOR WALL ILLUMINANCE LEVEL ELEVATION (TYPE 'C' TYP.)



1 EXTERIOR POLE MOUNTED LIGHT ELEVATION (TYPE 'D')

**FLOODLIGHT - GROUND OR ROOF MOUNT** 100 WATT MH

**TYPE 'C' LUMINAIRE** **AFL10**  
 Architectural Floodlights  
 www.100watt.com

Type: Job: Page 2 of 13

**Standard Features**

Finish: Cat. No. Architectural AFL10  
 Material: Extruded Aluminum  
 Single Housing: ETL with  
 single lens  
 0.7 MP/10  
 1/2" Die Cast

Beam Pattern: Cat. No.  
 Wide Flood: AFL10  
 Narrow Flood: AFL10  
 Medium Flood: AFL10  
 Narrow Spot: AFL10  
 Horizontal Spot: AFL10

Electrical Module: Cat. No. for Electrical Module available:  
 HPS - High Pressure Sodium  
 MH - Metal Halide  
 LED - LED  
 Lamp Life: 100,000 Hours  
 100 WATT MH

Beam Pattern	Beam Angle	Beam Diameter @ 100'	Beam Diameter @ 50'
Wide Flood	120°	100'	50'
Narrow Flood	30°	100'	50'
Medium Flood	60°	100'	50'
Narrow Spot	15°	100'	50'
Horizontal Spot	15°	100'	50'

Color: Black Dark Bronze Light Gray Platinum Silver White Custom Color  
 Super TFC powder coat  
 100 WATT MH

**LIGHTING FIXTURE SCHEDULE**

NO.	DESCRIPTION	QUANTITY	UNIT	MANUFACTURER	MODEL	WATTAGE	VOLTS	REMARKS
1	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	GROUND MOUNTED EXTERIOR FLOODLIGHT
2	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
3	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
4	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
5	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
6	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
7	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
8	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
9	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT
10	100 WATT MH FLOODLIGHT	10	EA	100WATT	AFL10	100	120	ROOF MOUNTED EXTERIOR FLOODLIGHT

# TEMPLE ILLUMINATION DETAILS

**WALKWAY BOLLARD** 42 WATT OF

**TYPE 'B' LUMINAIRE** **SL1**  
 Site Lightforms  
 www.sl1.com

Type: Job: Page 1 of 2

**Specifications**

Material: Extruded Aluminum  
 42 Watt Compact Fluorescent  
 Maximum weight: 37 lb

Finish: Super TFC powder coat  
 42 WATT OF

Lighting and Ratings:  
 42 WATT OF  
 120 VOLT  
 42 WATT OF

**Parking and Pedestrian Pole Light** 150 WATT MH

**Widelite** **TYPE 'A' LUMINAIRE** **OPTRA**  
 Optima Area Lightforms  
 www.optra.com

Type: Job: Page 1 of 6

**Specifications**

Material: Extruded Aluminum  
 150 WATT MH  
 Maximum weight: 150 lbs

Finish: Super TFC powder coat  
 150 WATT MH

Lighting and Ratings:  
 150 WATT MH  
 120 VOLT  
 150 WATT MH

**Tower Floodlight** 1000 WATT MH

**TYPE 'D' LUMINAIRE** **OPTRA**  
 Optima Area Lightforms  
 www.optra.com

Type: Job: Page 1 of 6

**Specifications**

Material: Extruded Aluminum  
 1000 WATT MH  
 Maximum weight: 1000 lbs

Finish: Super TFC powder coat  
 1000 WATT MH

Lighting and Ratings:  
 1000 WATT MH  
 120 VOLT  
 1000 WATT MH



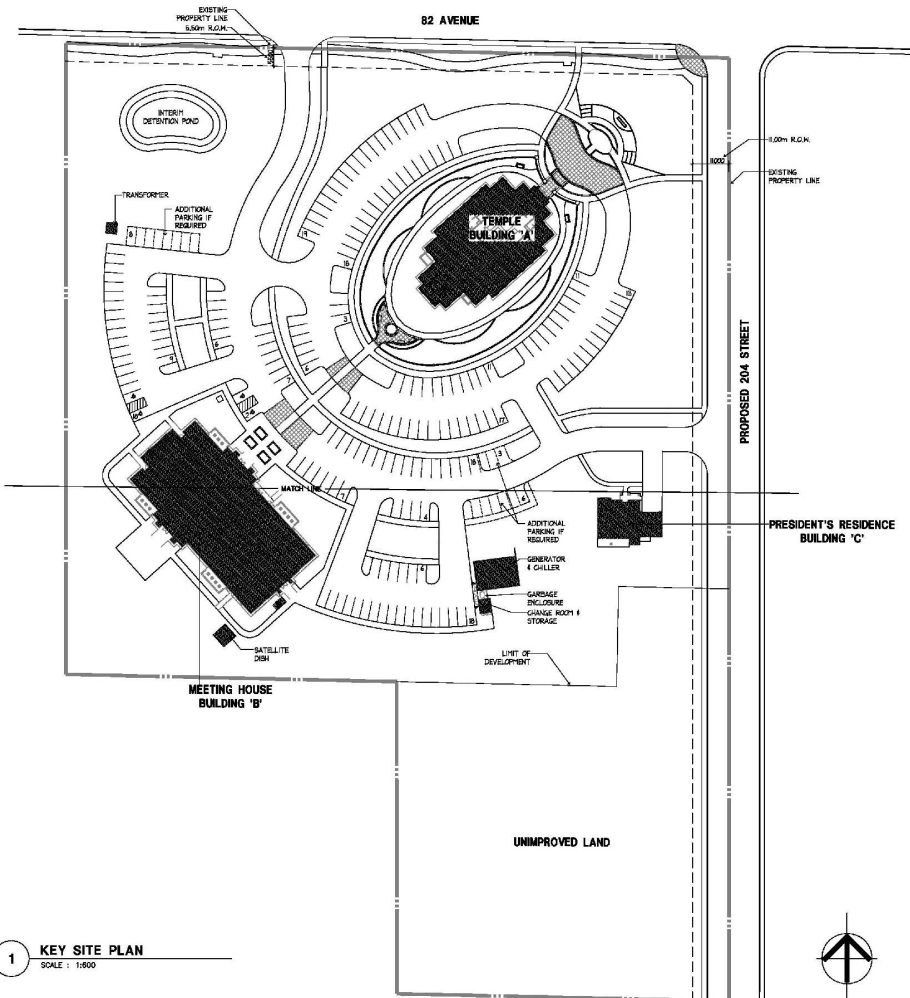
**ATTACHMENT C**



**TEMPLE RENDERING**



## **MEETINGHOUSE RENDERING**



**PARKING DATA**  
 AS PER TOWNSHIP OF LANGLEY,  
 OFF-STREET PARKING BY-LAW  
 #2500, 1987.

PARKING REQUIRED:	104
TEMPLE	104
MEETING HOUSE	2
PRESIDENTS RESIDENCE	2
TOTAL REQUIRED:	212
TOTAL PARKING PROVIDED:	193
(INCLUDING 4 HANDICAPPED)	
DRIVEWAY & 2 CAR GARAGE	
AT PRESIDENTS RESIDENCE	2
SUBTOTAL:	195
ADDITIONAL PARKING IF	17
REQUIRED:	
TOTAL PROVIDED:	212

**PARKING BY-LAW**

STANDARD STALL:	2.40m x 5.60m
SMALL CAR STALL:	2.44m x 4.80m
MIN AISLE WIDTH:	24'-0" (7.30m)
PERMITTED PERCENTAGE	OF SMALL CARS: 20%

As per TOWNSHIP OF LANGLEY  
 ZONING BY-LAW #2500, 1987.

**LEGEND:**

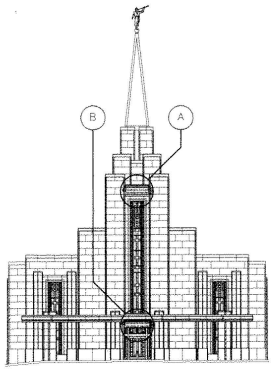
ELEVATIONS ARE IN METRIC UNITS  
 ALL PARKING LOT LINE PAINTING TO  
 BE "WHITE".

C.B.	CATCH BASIN
---	PROPERTY LINE
[Stippled Box]	STAMPPED CONCRETE
F.H.	FIRE HYDRANT
Y	SWAPSE CONNECTION
M.H.O.	MANHOLE OR RIM
[Ramp Symbol]	PHYSICALLY CHALLENGED RAMP
[Stall Symbol]	PHYSICALLY CHALLENGED STALL
SC	PAINTED WHITE "SMALL CAR ONLY"
[Arrow Symbol]	PAINTED TRAFFIC ARROWS
[Lamp Symbol]	LAMP STANDARDS
[Line Symbol]	PAINTED LINES

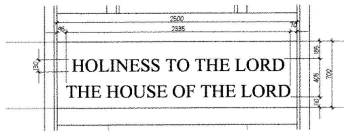
NOTES:  
 ROADWAYS ARE ASPHALT UNLESS  
 NOTED OTHERWISE  
 SIGNALS ARE CONCRETE UNLESS  
 NOTED OTHERWISE

1 KEY SITE PLAN  
 SCALE: 1:800

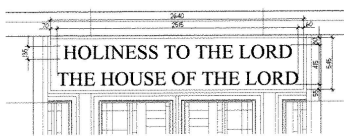
**KEY SITE PLAN**



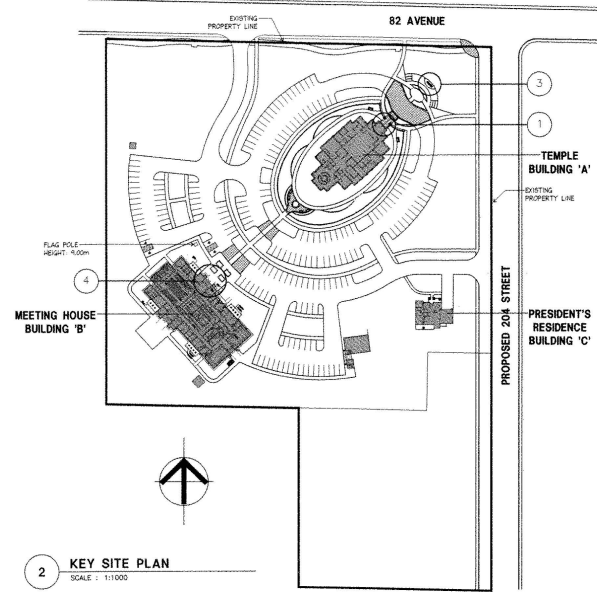
1 TEMPLE ELEVATION  
 SCALE : 1:200 NORTH EAST



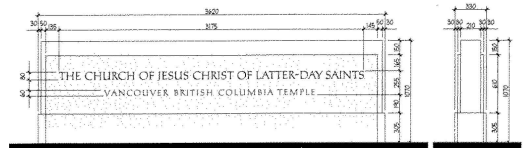
A TEMPLE TOWER SIGNAGE  
 SCALE : 1:20



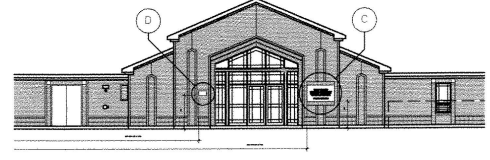
B TEMPLE SIGNAGE OVER ENTRANCE  
 SCALE : 1:20



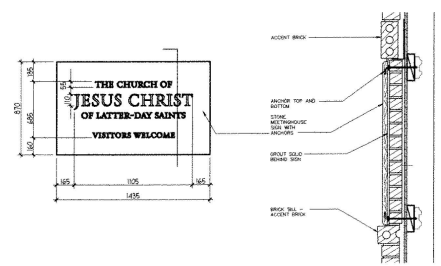
2 KEY SITE PLAN  
 SCALE : 1:1000



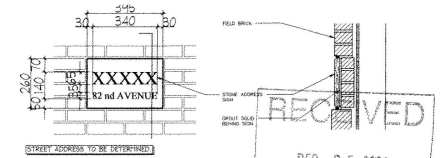
3 MONUMENT SIGN  
 SCALE : 1:20 ELEVATIONS



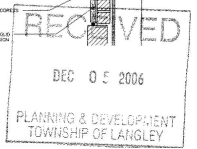
4 MEETING HOUSE ELEVATION  
 SCALE : 1:100 NORTH EAST



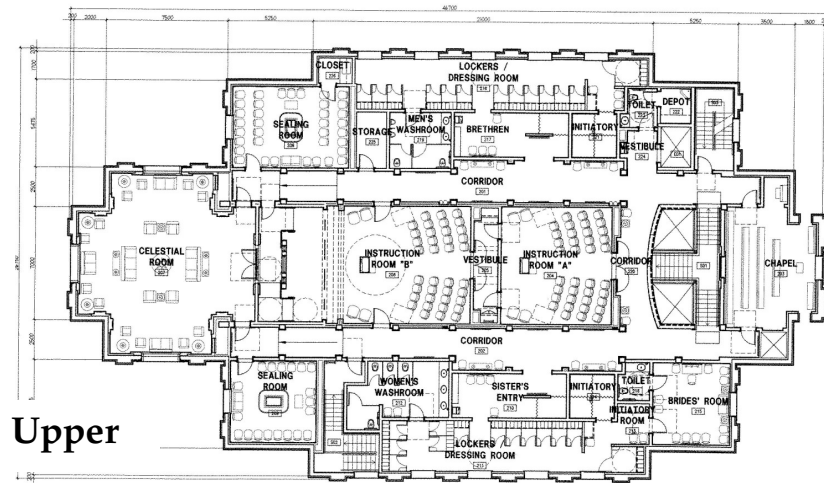
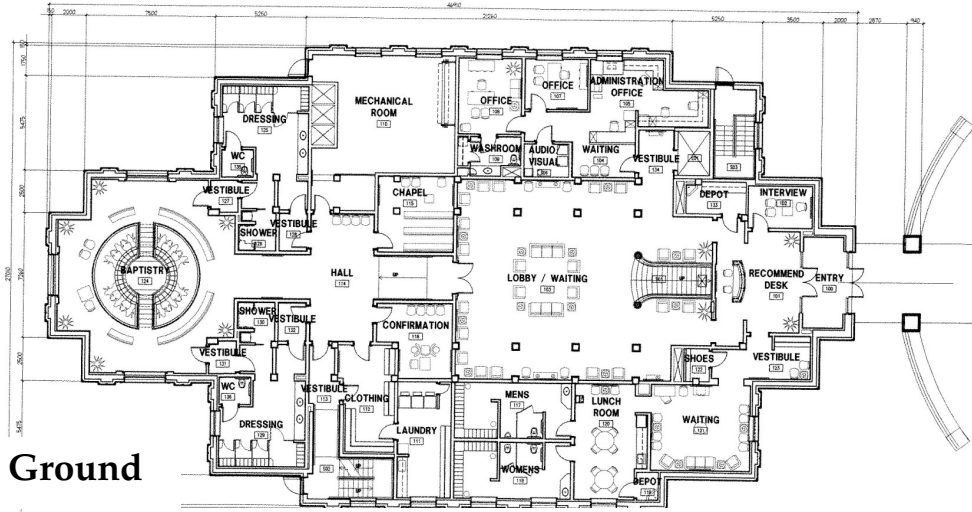
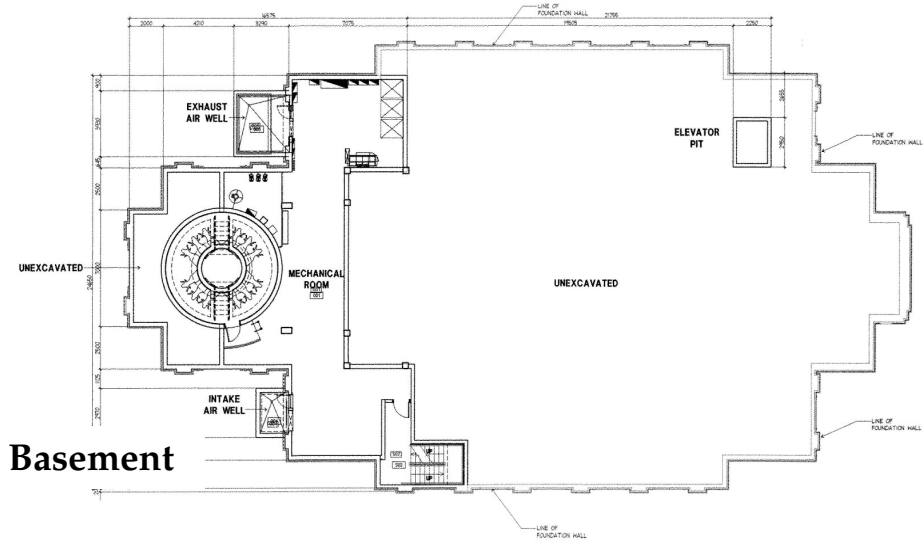
C MEETING HOUSE SIGNAGE  
 SCALE : 1:20, 1:10 ELEVATION, SECTION



D MEETING HOUSE ADDRESS SIGNAGE  
 SCALE : 1:10 ELEVATION, SECTION

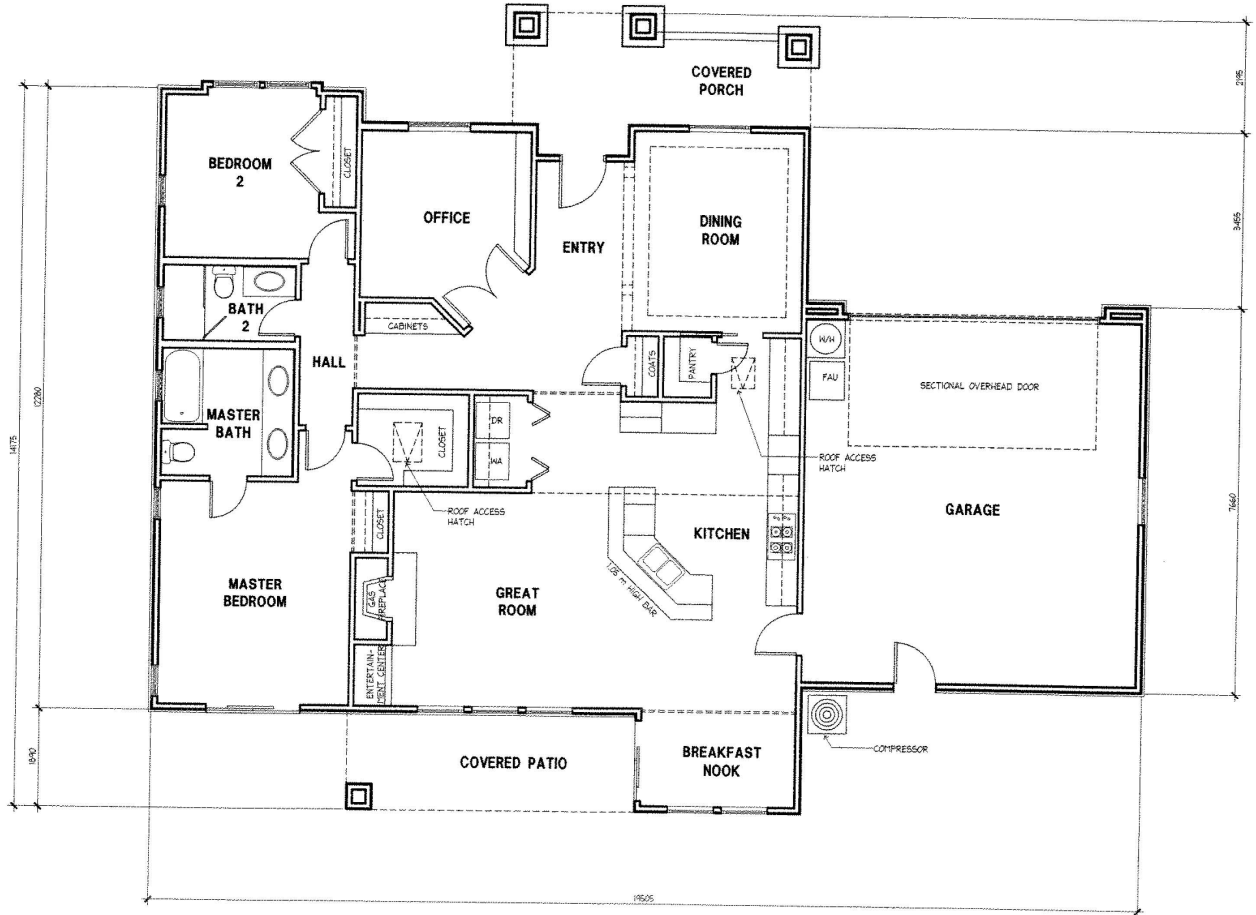


# SIGNAGE PLAN



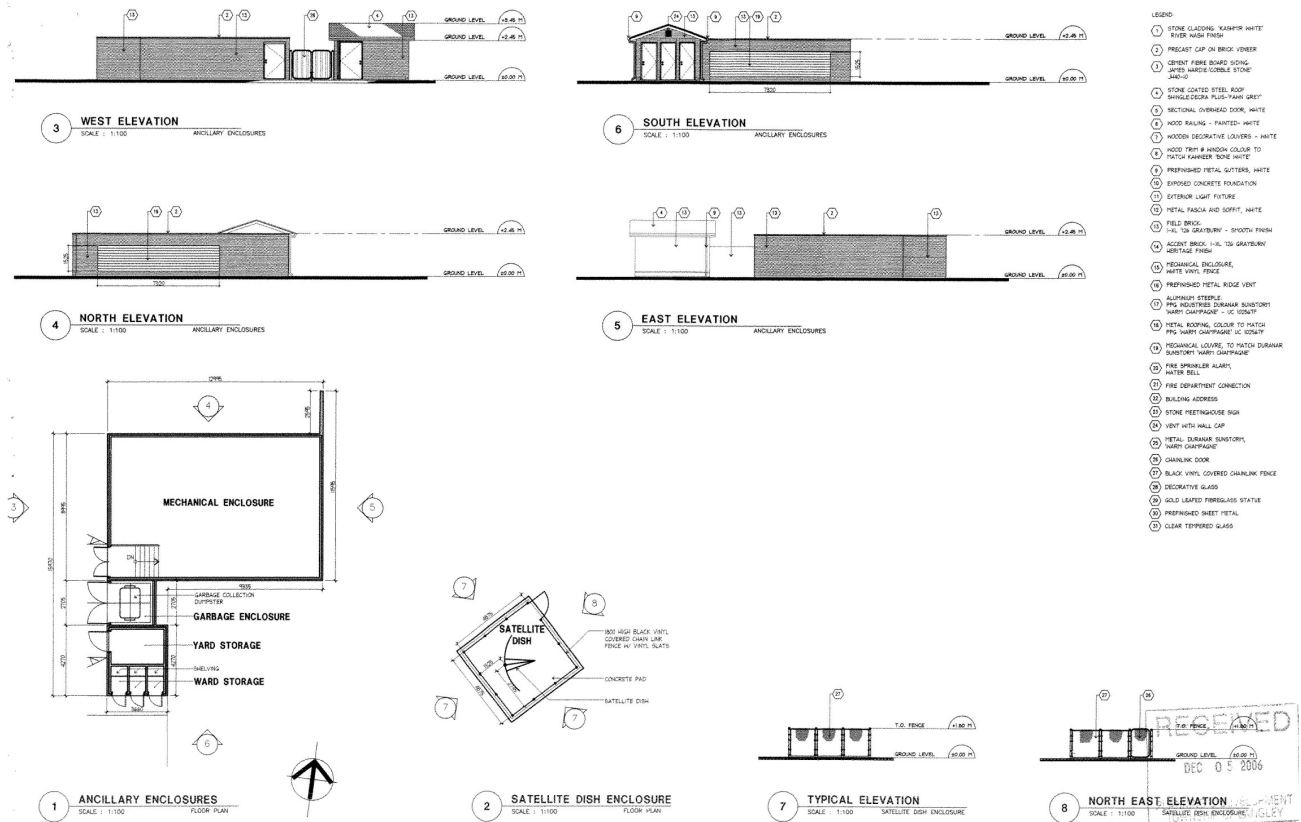
## TEMPLE FLOOR PLANS





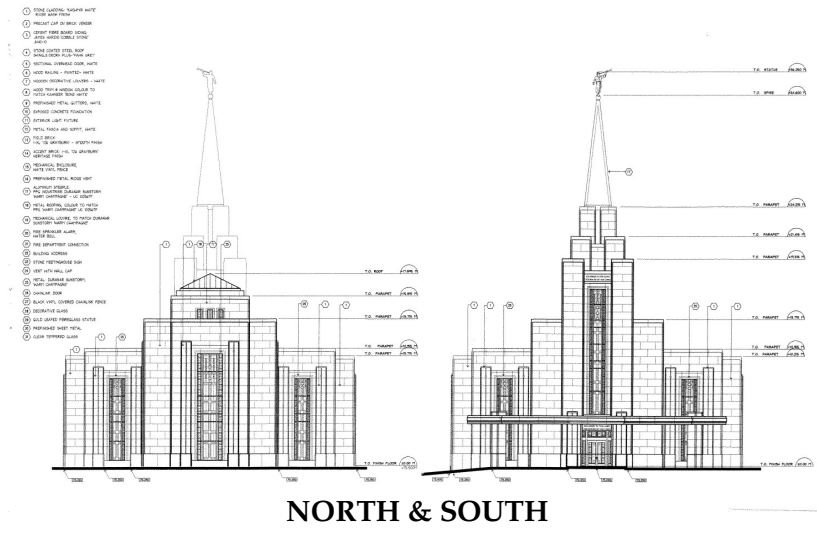
1 FLOOR PLAN  
SCALE : 1/32

# TEMPLE PRESIDENT'S RESIDENCE FLOOR PLAN

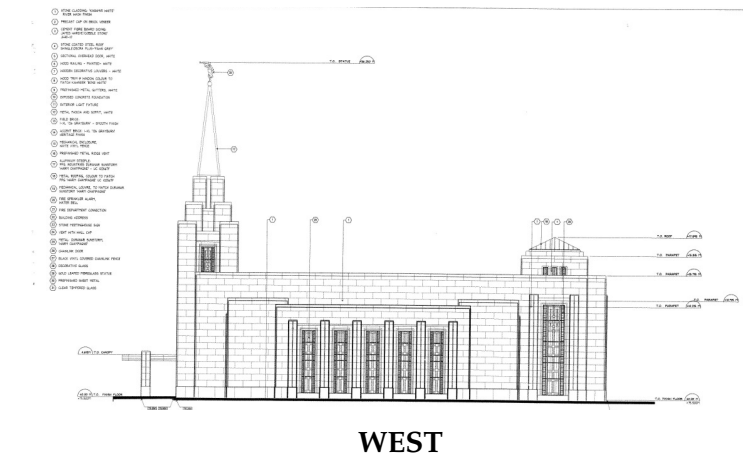


## ANCILLARY ENCLOSURES – PLANS & ELEVATIONS

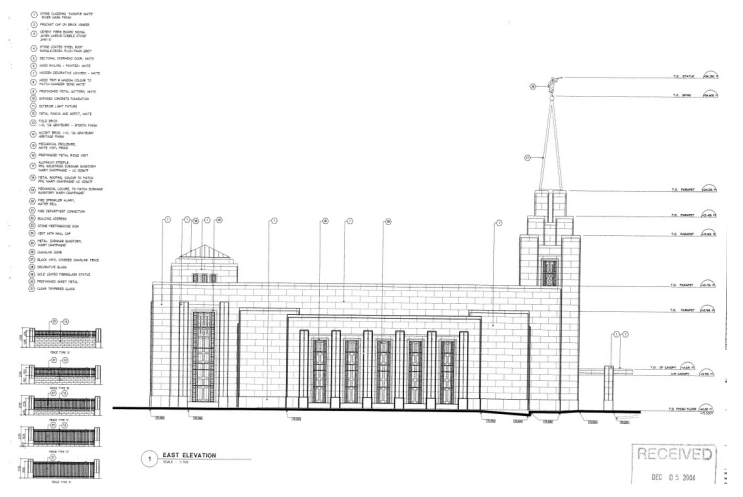




**NORTH & SOUTH**

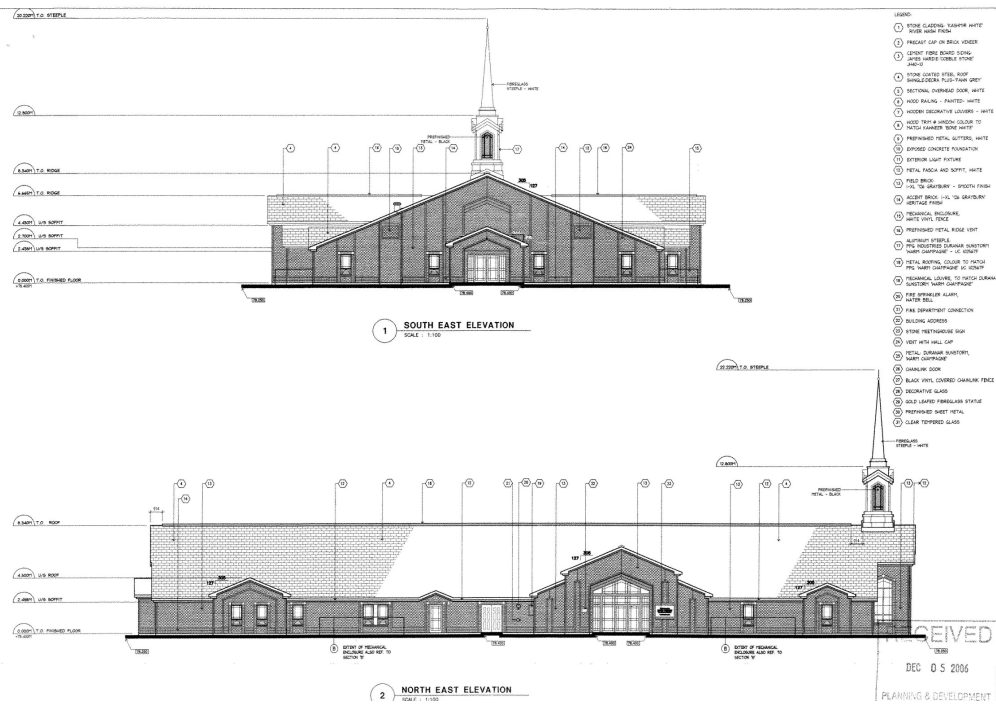
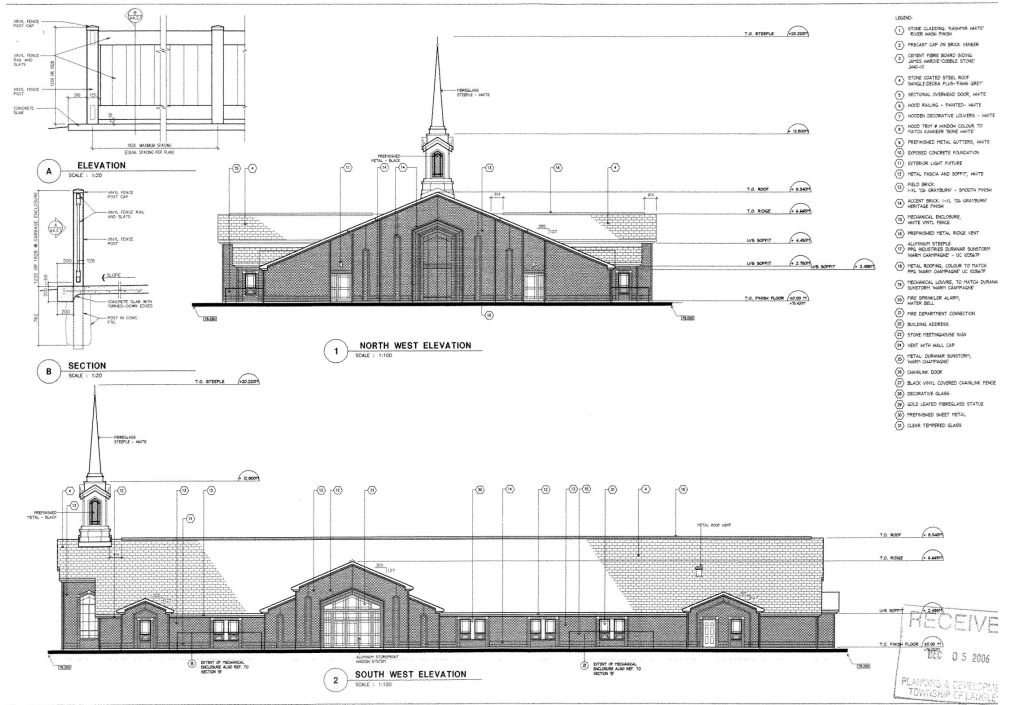


**WEST**



**EAST**

**TEMPLE EXTERIOR ELEVATIONS**



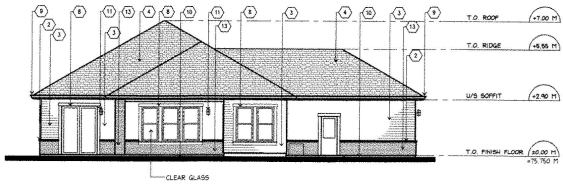
## MEETINGHOUSE EXTERIOR ELEVATIONS

LEGEND

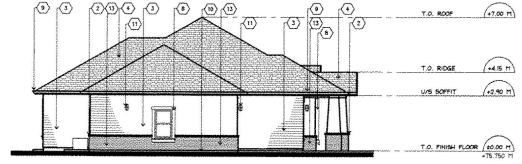
- 1 STONE CLADDING 'KASHMIR WHITE' ROVER WASH FINISH
- 2 PRECAST GAP ON BRICK VENEER
- 3 CEMENT FIBRE BOARD SIDING JAMES HARDIE COBBLE STONE 'JARDIN'
- 4 STONE COATED STEEL ROOF SINGLE/GREENA PLUS-TANAN GREY
- 5 SECTIONAL OVERHEAD DOOR, WHITE
- 6 HOOD RAILING - PAINTED WHITE
- 7 WOODEN DECORATIVE LOUVERES - WHITE
- 8 WOOD TRIM & WINDOW COLOUR TO MATCH KAWNEER 'BONE WHITE'
- 9 PREFINISHED METAL GUTTERS, WHITE
- 10 EXPOSED CONCRETE FOUNDATION
- 11 EXTERIOR LIGHT FIXTURE
- 12 METAL FASCIA AND SOFFIT, WHITE
- 13 FIELD BRICK 110 '126 GRAYBURN' - SMOOTH FINISH
- 14 ACCENT BRICK 11-XL 126 GRAYBURN HERITAGE FINISH
- 15 MECHANICAL ENCLOSURE WHITE VINYL FENCE
- 16 PREFINISHED METAL RIDGE VENT
- 17 ALUMINIUM STEEPLE
- 18 PPG INDUSTRIES DURANAR SUNSTORY 'HARRY CHAMPAGNE' - UC 1026RT
- 19 METAL ROOFING COLOUR TO MATCH PPG 'HARRY CHAMPAGNE' UC 1026RT
- 20 MECHANICAL LOUVER, TO MATCH DURANAR SUNSTORY 'HARRY CHAMPAGNE'
- 21 FIRE SPRINKLER ALARM WATER BELL
- 22 FIRE DEPARTMENT CONNECTION
- 23 BUILDING ADDRESS SIGN
- 24 STONE HEATING/GAS SIGN
- 25 VENT WITH WALL CAP
- 26 METAL DURANAR SUNSTORY 'HARRY CHAMPAGNE'
- 27 CHAINLINK DOOR
- 28 BLACK VINYL COVERED CHAINLINK FENCE
- 29 DECORATIVE GLASS
- 30 GOLD LEAFED FIBREGLOSS STATUE
- 31 PREFINISHED SHEET METAL
- 32 CLEAR TINTED GLASS



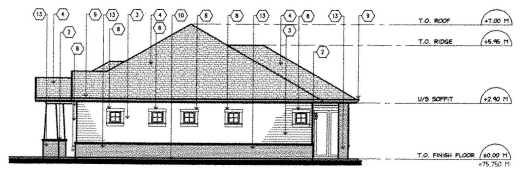
1 NORTH ELEVATION  
 SCALE : 1:100



3 SOUTH ELEVATION  
 SCALE : 1:100



2 EAST ELEVATION  
 SCALE : 1:100



4 WEST ELEVATION  
 SCALE : 1:100

## TEMPLE PRESIDENT'S RESIDENCE EXTERIOR ELEVATIONS

**THE CORPORATION OF THE TOWNSHIP OF LANGLEY**

**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500**

**AMENDMENT (THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS)**

**BYLAW 2007 NO. 4590**

**EXPLANATORY NOTE**

Bylaw No. 4590 rezones property located at 20344, 20380 and 20388 – 82 Avenue to Civic Institutional Zone P-1 to permit development of a temple, meetinghouse and residence for the Church of Jesus Christ of Latter-Day Saints.

**THE CORPORATION OF THE TOWNSHIP OF LANGLEY**  
**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500**  
**AMENDMENT (THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS)**  
**BYLAW 2007 NO. 4590**

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

WHEREAS it is deemed necessary and desirable to amend "Township of Langley Zoning Bylaw 1987 No. 2500" as amended;

NOW THEREFORE, the Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (The Church of Jesus Christ of Latter-Day Saints) Bylaw 2007 No.4590".
2. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by rezoning the lands described as:

Lot 39 Section 26 Township 8 New Westminster District Plan 37368;

Lot 5 Except: Firstly: Parcel "A" (Explanatory Plan 34309) Secondly: Plan 37368 South West Quarter Section 26 Township 8 New Westminster District Plan 12426;

Parcel "A" (Explanatory Plan 34309) Lot 5 Section 26 Township 8 New Westminster District Plan 12426

as shown delineated on Schedule "A" attached to and forming part of this Bylaw to Civic Institutional Zone P-1.

READ A FIRST TIME the	day of	, 2007
READ A SECOND TIME the	day of	, 2007
PUBLIC HEARING HELD the	day of	, 2007
READ A THIRD TIME the	day of	, 2007
RECONSIDERED AND ADOPTED the	day of	, 2007

\_\_\_\_\_ Mayor \_\_\_\_\_ Township Clerk

# SCHEDULE 'A' BYLAW NO. 4590

