

**Revitalising Historic Buildings
Through Partnership Scheme**

Former Fanling Magistracy

Resource Kit



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I. Introduction

1.1 The purpose of the resource kit is to provide applicants with information to prepare proposals for the historic buildings under the Revitalising Historic Buildings Through Partnership Scheme (the Revitalisation Scheme). Information provided include:

Section II	Historical Background and Architectural Merits;
Section III	Site Information;
Section IV	Building Information;
Section V	Vicinity and Access;
Section VI	Conservation Guidelines;
Section VII	Town Planning Issues;
Section VIII	Land and Tree Preservation Issues;
Section IX	Slope Maintenance; and
Section X	Technical Compliance for Possible Uses.

1.2 In drawing up proposals, applicants should in particular endeavour to:

- (a) bring out the historical significance of the buildings;
- (b) follow the conservation guidelines; and
- (c) strike a balance between maintaining the architectural authenticity of the buildings and complying with current statutory building control requirements.

We appreciate that (c) will be a complex task. We have the following suggestions for the applicants' consideration:

- (a) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under the Buildings Ordinance. The need for preserving the significant architectural features (**Appendix X** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the buildings; and
- (b) every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or

other less visually prominent locations of the buildings concerned.

- 1.3 For each historic building, we have suggested a number of uses which appear to be pursuable based on information on hand. However, the technical feasibility of such case will need to be further examined.
- 1.4 The dimensions, areas and levels presented in this resource kit including the architectural drawings are for reference only. A thorough cartographic survey for the building and topographic survey for the site should be carried out by authorized specialists to verify the dimensions, areas and datum levels before detailed design is to be carried out.
- 1.5 The information we have provided is meant to be helpful. Applicants are advised to verify it before finalizing their proposals. In particular, information given in Section 4.7 - "Preliminary Structural Appraisal" is a rough estimate only.
- 1.6 The Scheme Secretariat will provide a one-stop service to assist applicants and where necessary, refer them to concerned departments. Applicants may contact the Scheme Secretariat at :-

Address: Revitalising Historic Buildings Through Partnership Scheme Secretariat
c/o Commissioner for Heritage's Office, Development Bureau

21/F, Murray Building, Garden Road, Central, Hong Kong
(applicable from 7 October 2011 to 19 December 2011)

OR

19/F West Wing, Central Government Offices
2 Tim Mei Avenue, Tamar, Hong Kong
(applicable from 20 December 2011 onwards)

Email: rhb_enquiry@devb.gov.hk

Phone.: 2848 6230

Fax: 2127 4090

II. Historical Background and Architectural Merits

2.1 Historical Background

The Former Fanling Magistracy was built to handle offences within the Northern District of the New Territories. Occupying a prominent location near the Jockey Club Road, the two-storey building was constructed in 1960 and began operation in September 1961.

After the lease of the New Territories in 1898 and before the war, the District Officers (理民官) were empowered to hold Small Debts Courts and Land Courts (田土法庭) under the New Territories Ordinance (新界條例). In the Northern District of the New Territories including Yuen Long and Tai Po, the District Officers sat regularly as Police Court Magistrates (警察裁判官) at Ping Shan and Tai Po handling minor cases. All cases involving charges of serious nature in the New Territories were heard by the Kowloon Magistracy. In reality, village, clan and family disputes in the New Territories in the old days were largely settled by the elders. This partly explained the reason for little demand for court buildings in the New Territories in the pre-war years.

To cope with the growth and development of the New Territories, the major aim of administrative policy of the late 1950s were to turn over and converge to various specific departments those functions previously discharged by District Officers, so as to make the governing structure in the New Territories compatible to that of the urban area. In 1961, Government introduced a new legislation to extend the civil jurisdiction of the Supreme Court and the District Court to the New Territories. The District Officers' vestigial judicial functions were formally transferred to the District Courts. The Former Fanling Magistracy was the first magistracy set up in the New Territories. It was opened in 1961 to serve the Northern District.

As time passes, the Former Fanling Magistracy was incapable of meeting the operational needs of the court. In 1996, the population of the area served by this magistracy had increased to about 516,500, representing an increase of nearly 300%

over the population in 1960. To cope with the increasing demand for court services, structures were erected on the adjacent site in 1983 and around 1997 to provide two additional courtrooms, court support offices and an office for duty lawyers as an interim measure. Two other magistracies were also built in Shatin and Tuen Mun to deal with the increased volume of workload during the 1980s.

However, the Former Fanling Magistracy still lacked essential support facilities such as public witness rooms, public consultation rooms, separate facilities for the reporters and lawyers, facilities for persons with a disability and central air conditioning for the public waiting areas. There were also inadequate interview rooms in the custodial area for litigants to discuss their cases with their legal representatives. As such, a new and more spacious magistracy building was required. The new Fanling Law Courts Building was completed in 2002 and since then, the Former Fanling Magistracy has been closed and left vacant. The Former Fanling Magistracy has been rented out under short-term tenancy for several times for film-shooting, including the Internal Affairs II (無間道II) in 2003.

Under the judiciary system, all criminal proceedings commence in the Magistrates' Courts and thus the magistracy was the lowest court that covered a wide range of indictable and summary offences. Minor offences such as hawking, traffic convictions and littering were heard in the Magistrates' Courts by Special Magistrates. The maximum sentence in the magistracy was two years' imprisonment and a fine of \$100,000, although in certain circumstances, the magistrates might impose sentences of up to three years' imprisonment and a fine of \$5,000,000. Relatively more serious cases were referred to courts of higher jurisdiction, such as the District Courts or the Court of First Instance.

2.2 Architectural Merits

The site comprises five buildings, namely the Former Fanling Magistracy built in 1960, the Annex Court Building at the northwest built in 1983, the Duty Lawyers' Office built in around 1997 and two small associated blocks for building services facilities at the west probably built as later extension of the Former Fanling Magistracy.

The Former Fanling Magistracy is one of the representative examples of civic architecture of the period. As the Former Fanling Magistracy was built in the same year as the North Kowloon Magistracy (in Shum Shui Po on Tai Po Road), the two magistracies share similar architectural languages. The double canopied projecting bay with storeys high vertical windows dominates the front façade and gives a simplified version of “giant order” of the neo-classical architecture that signifies the majestic nature of the building. The side façades also feature neo-classical motif, corbel and moulded architraved doorways. Internally, an atrium lit by a central light well houses a grand staircase with ornamental ironwork balustrades leading to upper floors courtrooms. However, the Former Fanling Magistracy is of much smaller scale – it only comprises two storeys and accommodates two courtrooms where more economical finishing materials of the era, such as terrazzo tiles, mosaic tiles, artificial granite tiles and stucco painting, are found.

Other than the Former Fanling Magistracy, the four accessory buildings within the site carry less architectural merits.

III. Site Information

3.1 Location

The site is located at No. 302 Jockey Club Road, Fanling, New Territories. The Location Plan is at **Appendix I**.

3.2 Site Boundary

The site rests on Government land. The Site Boundary Plan is shown at **Appendix II**.

3.3 Site Area

The site area of the revitalisation project, including Former Fanling Magistracy, is approximately 4,131 sq. metres.

3.4 Major Datum Levels

The major datum level of the site ranges from about +14.6mPD to +15.6mPD as shown at **Appendix III**.

A summary on the information of the site is given at **Appendix IV**.

IV. Building Information

4.1 Building Description

The buildings within the site include the Former Fanling Magistracy and the following associated buildings:

- Annex Court Building at north west;
- Duty Lawyers' Office at west; and
- two small blocks accommodating building services facilities.

Former Fanling Magistracy was constructed in 1960. It has two main storeys including two courtrooms located at the upper floor. The roof floor accommodates air-conditioning room and flat roof. The one-storey Annex Court Building was constructed in 1983 to meet the increasing demand for provision of two additional courtrooms. The Duty Lawyers' Office was a separate one-storey block constructed in around 1997 to accommodate offices and interview rooms.

Former Fanling Magistracy ceased operation since the completion of the Fanling Law Courts Building in 2002. Since then, it had been occasionally rented out under short-term tenancy for film-shooting and is generally in a vacant condition.

The architectural drawings of Former Fanling Magistracy and other associated buildings, which consist of site plan, floor plans, elevations and sections, are attached at **Appendix V**. These drawings are produced based on rough site measurement and require further verification. Softcopy of the drawings in AutoCAD format are stored in a CD-ROM enclosed in the application materials.

Photos showing the site, the Former Fanling Magistracy and other associated buildings are at **Appendix VI**.

4.2 Historic Grading

Former Fanling Magistracy was designated as a Grade 3 historic building by the Antiquities Advisory Board (AAB) in 2010.

"Grade 3 historic building" is defined as "building of some merits; preservation in some form would be desirable and alternative means could be considered if preservation is not practicable".

4.3 Schedule of Accommodation

(a) Former Fanling Magistracy

Floor Level	Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Entrance hall Cells Police officers' rooms Shroffs	730
1/F	Courtrooms Magistrates' chambers General offices	800

(b) Annex Court Building

Floor Level	Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Two courtrooms Judges' chambers General offices Public waiting area	350

(c) Duty Lawyers' Office

Floor Level	Accommodation	Approximate Gross Floor Area (sq. m)
G/F	Offices and interview rooms	100

4.4 Materials of Construction

(a) Former Fanling Magistracy

Materials	Roof	Reinforced concrete
	Wall	Mainly bricks; Part of walls are of reinforced concrete
	Column	Reinforced concrete
	Floor	Reinforced concrete beam/slab construction; Ground floor slabs in reinforced concrete
	Stairs	Reinforced concrete
Finishes	Exterior	Course granolithic finishes (surface paint finish is a later addition); Base of east façade in granite blocks
	Interior	<u>Wall finishes:</u> Plaster rendered with white paint; Dado finish with granolithic tiles; Timber panels for courtrooms <u>Floor finishes:</u> Washed granolithic tiles for public space; Timber floor boards for courtrooms

(b) Annex Court Building

	Roof	Reinforced concrete
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Materials	Wall	Reinforced concrete
	Floor	Reinforced concrete
	Stairs	N/A
Finishes	Exterior	Plaster rendered with white paint
	Interior	<u>Wall finishes:</u> Plaster rendered with white paint <u>Floor finishes:</u> Ceramic floor tiles for public circulation; Timber boards for courtrooms

(c) Duty Lawyers' Office

Materials	Roof	Galvanized mild steel (GMS) corrugated sheets and GMS rafters on GMS trusses
	Wall	Brick
	Floor	Reinforced concrete
	Stairs	N/A
Finishes	Exterior	Plaster rendered with white paint
	Interior	<u>Wall finishes:</u> Plaster rendered with white paint <u>Floor finishes:</u> Ceramic floor tiles

4.5 Internal Circulation

4.5.1 General Description

(a) Former Fanling Magistracy

There are separate staircases for the magistrate, the defendant and general public. The magistrate's staircase leads from ground floor to magistrates' chambers at first floor and continues to reach the flat roof. Separate staircases connect the cells at ground floor to each courtroom. A public grand staircase along central axis connects the entrance hall at ground floor and the public lobby at upper floor.

(b) Annex Court Building

It is a single storey building with separate accesses for the judge, the defendant and general public. The flat roof is accessible by cat ladder.

(c) Duty Lawyers' Office

It is a single storey building with direct accesses.

4.5.2 Barrier Free Access

(a) Former Fanling Magistracy

The existing ramp adjacent to the main entrance at the east façade does not fully comply with the current standards on barrier free access. There is no provision of barrier free access from ground floor to first floor and roof of the building.

(b) Annex Court Building

Barrier free access is not available due to the level difference between internal space and external grounds. No ramp is provided for persons with a disability.

(c) Duty Lawyers' Office

Barrier free access is not available due to the level difference between internal space and external grounds. No ramp is provided for persons with a disability.

4.6 Major Alterations and Additions

(a) Former Fanling Magistracy

A courtroom and a pantry with counter were constructed at ground floor in 1979. Re-roofing work at all flat roofs was carried out in 1984. The concrete ramp along the east façade was also a new addition.

(b) Annex Court Building

The Annex Court Building was a new construction to provide two more courtrooms in 1983. No major alteration and addition has been carried out after its completion.

(c) Duty Lawyers' Office

The Duty Lawyers' Office was a new construction to provide offices and interview rooms for duty lawyers in around 1997. No major alteration and addition has been carried out after its completion.

4.7 Structural Appraisal

Architectural Services Department (ASD) commissioned a consultant to carry out a structural survey to the buildings within the site of the Former Fanling Magistracy in 2009. The full structural survey report is available for reference of applicants in CD-ROM format or can be downloaded from the website on Heritage (<http://www.heritage.gov.hk>).

Any increases in the imposed load for the change of usage shall be thoroughly assessed by a Registered Structural Engineer with comprehensive survey and laboratory tests.

4.8 Building Services and Utilities

A list of existing provisions of building services and utilities for Former Fanling Magistracy and the associated buildings is as follows:

Building Services and Utilities	Existing Provision
MVAC Installation	<ul style="list-style-type: none"> • Most of the air-conditioning equipments have been removed. • The fans, air duct, etc., remained in the buildings are found too aged or damaged and cannot be re-used.
Fire Service Installation	<ul style="list-style-type: none"> • There is an existing 2m³ fire services (FS) tank located above the fire hose/hose reel pump room which is located behind Duty Lawyers' Office. • All FS pumps are found removed. • No sprinkler system is found in Former Fanling Magistracy, Annex Court Building and Duty Lawyers' Office. • No automatic detection system, manual fire alarm system, visual alarm, sign, lighting and FS control panel are found in the existing buildings. • In general, all the existing FS installations are found either disconnected or removed. • An existing 80mm diameter potable watermain serving the Former Fanling Magistracy is found at the entrance facing Sha Tau Kok Road, but is outside the site boundary of this project. The successful applicant is required to apply to Water Services Department (WSD) for a new fire services water connection.
Lift	<ul style="list-style-type: none"> • No lift is provided in Former Fanling Magistracy, Annex Court Building and Duty Lawyers' Office.

Gas Installation	<ul style="list-style-type: none"> • No gas installation is found in Former Fanling Magistracy, Annex Court Building and Duty Lawyers' Office. • The successful applicant may apply for gas supply connection through the gas pipe along Sha Tau Kok Road – Lung Yeuk Tau. • The existing gas pipes provided to the Government Staff Quarters Blocks A & B (location shown at Appendix II) are laid within the site boundary of this project. Future diversion of the gas pipes might be required.
Electricity Supply	<ul style="list-style-type: none"> • An existing transformer room is located at G/F of Former Fanling Magistracy. However, it is noted that the electricity supply to the premise has been terminated. • Most of the switch gears are found either damaged or removed inside the buildings. • Existing pendant fluorescent light panels are found in Court 1 & Court 2 at 1/F of Former Fanling Magistracy. However, it is found that wirings to these fittings are disconnected. • According to China Light and Power Company's (CLP's) record, the power supply cable to Government Staff Quarters Blocks A & B adjacent to the site are laid under Duty Lawyers' Office. Future diversion / decommissioning of the cable might be required. • The size and provision of the existing transformer room may not comply with the current requirements of CLP. The successful applicant may need to further liaise with CLP on the power supply arrangement.
Plumbing & Drainage Installation	<p>A. <u>Drainage and Sewerage</u></p> <ul style="list-style-type: none"> • The surface water at roof is gathered by storm water down pipes and discharged to the internal manholes. However, most of the down pipes are found seriously

dilapidated.

- Surface water from landscaped area is gathered by the surface channels and discharged to the internal storm water manholes.
- The stormwater collected by internal manholes is discharged to existing stormwater terminal manhole which connects to the Government stormwater drain at Sha Tau kok Road.
- The foul drain of the buildings are gathered through the existing internal foul manholes which connect to the terminal manhole and discharge to Government main sewer.
- Both the storm water and foul water terminal manholes are located at the entrance facing Sha Tau Kok Road – Lung Yeuk Tau.
- It is noted that the terminal manholes are for collecting the water/sewage from Former Fanling Magistracy, Annex Court Building, Duty Lawyers' Office as well as the adjacent Government Staff Quarters Blocks A & B. Future diversion and segregation of the drainage/sewerage system of the Government Staff Quarters from that of the project site might be required.

B. Plumbing

- All water meters are disconnected.
- Most of the water supply pipes are found dilapidated seriously.
- Flush water storage tanks are located at roof of Former Fanling Magistracy and Annex Court Building.
- An existing 80mm diameter potable watermain is located at entrance facing Sha Tau Kok Road – Lung

	<p>Yeuk Tau, but is outside the site boundary of this project. The successful applicant is required to apply to WSD for a new water connection.</p> <ul style="list-style-type: none"> As advised by WSD, salt water is not available for the premise. The successful applicant may apply to WSD for temporary potable connection for flushing purpose.
Fixed Telecommunication Network	<ul style="list-style-type: none"> Both PCCW & Hutchison Global Communications (HGC) advised that they had telecommunication system network in the vicinity. The successful applicant may apply to either PCCW or HGC for telephone and broadband connection.

4.9 Recurrent Expenditure

To facilitate the applicants in forecasting their operating expenses and filling in the required information in Section (2) of Part D under Chapter III of the application form, we have estimated the respective expenditures on some common recurrent items including electricity fee, water and sewage charge, and rates and rent regarding the historic buildings at **Appendix VII**. Please note that the estimated expenditures have been made on the basis of some possible uses with assumptions, and are for reference only. Applicants are advised to make necessary adjustments with regard to their own proposals and specific operational requirements.

The applicant is responsible for the future maintenance of the site including the existing Magistracy Building, Annex Court Building, Duty Lawyers' Office and the two small blocks, open space and trees within the site, and the associated building services facilities at their own cost with the exception of the structural repairs of the historic building, which are to be borne by Government.

A summary on the information of the building is given at **Appendix IV**.

V. Vicinity and Access

5.1 Immediate Surrounding

Located at the centre of Fanling, Former Fanling Magistracy is within the hub of Government, commercial and residential buildings. Fanling Police Station and Fanling Fire Station are located on the opposite side of the Sha Tau Kok Road – Lung Yeuk Tau.

Fanling MTR Station is within a 15-minute walk from Former Fanling Magistracy. A Cross District Community Cultural Centre for North District is proposed to occupy the open space and car parking spaces next to the site of this revitalisation project. The Plan Showing Immediate Surrounding is at **Appendix VIII**.

5.2 Access

Access to the site is shown in the Access Plan at **Appendix IX**.

5.2.1 Vehicular Access

Old and Valuable Tree (OVT) No. LCSD N/20 is situated outside site boundary and is less than 10 metres from the vehicular access along Sha Tau Kok Road - Lung Yeuk Tau but the crown spread of this OVT is around 21m which spread over the vehicular access mentioned in Section 5.2.1. To protect the concerned OVT, no heavy and tall vehicles should use that vehicular access to enter or exit the project site.

Vehicular access to the site is available from the Jockey Club Road (at the points P & Q through R and points U & V through W indicated in the location map at Appendix I) and Sha Tau Kok Road – Lung Yeuk Tau (at the points X and Y through Z), both of them are two-way drives. An internal driveway to the main elevation of each building is available within the site. Transport Department (TD) preliminarily advised that they had no objection in keeping all existing ingress/egress on site.

A non-exclusive right-of-way serving the adjoining Government lands may need to be reserved within the site of this revitalisation project, subject to further advice from Lands Department.

5.2.2 Emergency Vehicular Access (EVA)

No EVA complying with the requirements stipulated in Part VI of Code of Practice for Means of Access for Firefighting and Rescue is found within the site.

5.2.3 Loading and Unloading Area

Loading and unloading area is currently not available within the site.

Loading or unloading facilities should be provided in the future development in accordance with the Hong Kong Planning Standard and Guidelines.

5.2.4 Parking

Car parking space is not available within the site.

Car parking facilities should be provided in the future development in accordance with the Hong Kong Planning Standard and Guidelines.

5.2.5 Pedestrian Access

Pedestrian can access the site along the pavement of Jockey Club Road and Sha Tau Kok Road – Lung Yeuk Tau. The site is about 15 minute walk from Fanling MTR Station. A subway is provided outside the Former Fanling Magistracy to connect both sides of Jockey Club Road. A bus stop is located near the northern boundary of the site.

5.2.6 Vehicular Access (within site)

Vehicular access is available for all buildings within the site.

5.2.7 Refuse Collection Point

There is a refuse collection point next to the existing vehicular entrance at Jockey Club Road.

VI. Conservation Guidelines

6.1 General Conservation Approach

6.1.1 All applicants are advised to give due regard to the Charter of Venice (ICOMOS), the Burra Charter (ICOMOS Australia) and the Principles for the Conservation of Heritage Sites in China (China ICOMOS), which give the established international principles in heritage conservation in preparing their proposals for the restoration works.

6.1.2 We understand it will be a complex issue to strike a balance between maintaining the architectural authenticity of historic buildings and complying with the current statutory requirements under the Buildings Ordinance and the allied regulations. On this issue, we would advise:

- (a) when undergoing major alteration and addition works and material change of use, the historic buildings should be properly upgraded for compliance with the current building safety and health standards under the Buildings Ordinance. The need for preserving the significant architectural features (**Appendix X** refers), site constraints or prohibitive upgrading cost may limit the type of use that may be chosen for the buildings; and
- (b) every effort should be made to preserve the facade of the historic buildings. Addition and alteration works, if necessary, should be undertaken at the back or other less visually prominent location of the buildings concerned. The original external façades of the buildings should generally be left unaltered and must not be disturbed, i.e. no major external additions or alterations to the premises will be allowed, unless permitted under these Conservation Guidelines. External redecoration is restricted to colours that are compatible with the age and

character of the buildings and the paint system is to be reversible¹. Any fixed signage should match the age and character of the external of the building(s) and is to be approved by the Antiquities and Monuments Office (AMO) prior to installation. However, there is no restriction on the type or design of temporary signage, e.g. banners, displays, etc., provided that the number of such signs is not excessive.

6.1.3 For the renovation works to comply with statutory building control requirements, the following general guidelines are given to the applicants for reference. However, they should not be treated as exhaustive and it is essential for the successful applicant to refer to the full requirements imposed by the relevant authorities in respect of their proposals, including Buildings Department, Fire Services Department, Drainage Services Department, etc.

Possible Building Works	Conservation Guidelines
a) Means of Escape	Any improvement works involving alteration or addition to doorway openings, steps, etc. must require the prior approval of AMO.
b) Emergency Vehicular Access (EVA)	EVA should blend in with the surroundings to preserve the historical character of the building(s).
c) Natural Lighting and Ventilation	Alteration or enlargement of any original windows or provision of any new window openings will not be permitted, unless approved by AMO.
d) Barrier Free Access	Any proposed access improvement for persons with a disability must respect historical integrity of the building(s) and its/ their surrounding, in particular the external elevation(s) of the

¹ *“Reversibility” is an act or process which can be undone or removed at a later date without causing material injury, loss, damage or change to the historic site or the historic building as the case may be.*

	building(s).
e) Fire Resisting Construction to Floors, Doors, Walls and Staircase	Any necessary upgrading works proposed to meet current requirements must respect the historical integrity and materials of the element concerned, which will probably be required to be retained in-situ.
f) Floor Loadings	Any proposed upgrading works necessary to meet “change of use” requirements must respect the historical integrity and materials of the floor concerned. Advice of Registered Structural Engineer should be sought on the proposed upgrading works.
g) Building Services	Any proposed upgrading of electrical supply, air conditioning and fire services installations should ensure that no “non-reversible” works are carried out to the historic building(s).
h) Plumbing and Sanitary Fittings	If “historic fitment(s)” is/ are identified, it/ they should be preserved, while modern fittings may be re-used, replaced or increased in number as required.
i) Sewage, Drainage System and Waste Disposal Facilities	All drainage services that are to be retained should be checked and overhauled as necessary; capacity of the existing system and adequacy of authorized waste disposal methods should also be confirmed and upgraded as necessary.

6.1.4 The conditions of each historic building are unique. As such, the problems encountered in the renovation works of each historic building should be tackled on a case-by-case basis. If compliance with the conservation requirements as listed in these Conservation Guidelines cannot be achieved because of statutory requirements arising from the proposed adaptive re-uses, AMO’s approval should be sought.

6.1.5 As the renovation works will inevitably cause impact to the historic buildings, the successful applicant should submit a Heritage Impact Assessment (HIA) to AMO for endorsement and further consultation with the Antiquities Advisory Board.

6.1.6 A specialist contractor from the Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works" in the "Repair and Restoration of Historic Buildings" category (RRHB specialist contractor) should be engaged to carry out the renovation works, either as a main contractor or a domestic sub-contractor. This RRHB specialist contractor should be responsible for the repair and restoration of the "Architectural Features to be Preserved" as listed in **Appendix X**. If the RRHB specialist contractor is only engaged as a domestic sub-contractor for carrying out works confined to heritage conservation, the successful applicant should separately engage a main contractor for the remaining works from the Development Bureau's "List of Approved Contractors for Public Works" from the appropriate group according to the estimated value of the works (please see <http://www.devb-wb.gov.hk/> for the list). The main contractor for all building works should also be registered in the relevant Contractor's Register kept by the Building Authority in accordance with the Buildings Ordinance (Cap 123). All other domestic sub-contractors for the renovation works should also be engaged from the relevant categories in Development Bureau's "List of Approved Suppliers of Materials and Specialist Contractors for Public Works". The renovation works should be carried out to the satisfaction of AMO.

6.2 Specific Conservation Requirements

6.2.1 The site of this revitalisation project comprises five buildings, namely Former Fanling Magistracy, Annex Court Building at northwest, Duty Lawyers' Office at west and two small blocks accommodating building services facilities. They carry different cultural significance and thus different conservation approaches will be adopted.

6.2.2 The Former Fanling Magistracy was built in 1960 to give a formal majestic place for the magistrates in the New Territories and was vacated in 2002. Though simple in architectural expression, it carries high cultural significance for being the first magistracy set up in the New Territories. It consists of two storeys. The exterior of the building gives one example of civic architecture of the period with neo-classical features and therefore more stringent conservation requirements are imposed on it. Internally, the building is divided into different functional zones serving general public, magistrates/ staff and police/ prisoners, which have independent circulation access. Staircases are provided separately to serve different zones. In order to facilitate adaptive re-use of the building, these staircases may be modified to suit future circulation purpose. Internal area can be repartitioned to suit functional needs as well but a few parts of the building such as a courtroom and a cell shall be preserved.

6.2.3 The Duty Lawyers' Office and the two associated blocks were later added to extend office spaces serving the Magistracy while the Annex Court Building was built in 1983 to supplement court spaces. More flexible conservation requirements are imposed on these buildings, which carry less historical or architectural values.

6.2.4 A number of character defining elements must be preserved in-situ and maintained as necessary. They are listed at **Appendix X**.

6.2.5 Some alterations or additions, which are inappropriate from heritage conservation angle, have been carried out to the original buildings over the years. It is recommended that these alterations or additions should be removed where possible and the building fabric restored and reinstated to reveal the full cultural significance of the Former Fanling Magistracy. Please refer to **Appendices XI** and **XII** for the required and recommended conservation treatment respectively.

6.2.6 Every effort should be made to carry out all “required treatments” set out under **Appendix XI** of the Conservation Guidelines. If compliance with the “required treatments” cannot be achieved, justifications should be given to AMO for their consideration. **Appendix XII** of the Conservation Guidelines sets out some “recommended treatments” to the historic building, which should be carried out as far as practicable.

VII. Town Planning Issues

The site falls within “Government, Institution or Community” (“G/IC”) zone on the Fanling / Sheung Shui – Outline Zoning Plan (OZP) No. S/FSS/15, which was gazetted on 30 June 2011. The full set of OZP including the Plan, Notes and Explanatory Statement is available at Town Planning Board’s (TPB’s) website (<http://www.info.gov.hk/tpb/>). Relevant extracts of the OZP and Notes for the ‘G/IC’ zone are shown at **Appendix XIII**.

The planning intention of the “G/IC” zone is primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or territory. It is also intended to provide land for uses directly related to or in support of the works of Government, organizations providing social services to meet community needs and other institutional establishments.

The Notes for the ‘G/IC’ zone (**Appendix XIII**) set out the uses or developments that are always permitted (the ‘Column 1’ uses) within the “G/IC” zone and those requiring permission from the TPB (the ‘Column 2’ uses). The application for Column 2 uses should be made to the TPB under Section 16 of the Town Planning Ordinance. If the use proposed by an applicant is not under Column 1 or Column 2, an application for amendment of the zoning on the OZP under Section 12A of the Town Planning Ordinance will be required to be submitted to the TPB for consideration.

Prior to the submission of an application, advice could be sought from Sha Tin, Tai Po and North District Planning Office of the Planning Department at 13/F, Sha Tin Government Offices, No.1 Sheung Wo Che Road, Sha Tin, New Territories (Tel: 2158 6271 or 2158 6240).

All applications for permission under Section 16 of the Town Planning Ordinance will be considered by the TPB within two months of their receipt. The TPB may reject or approve an application, with or without conditions. The applicant will be

notified in writing of the TPB's decision after confirmation of the minutes of the meeting at which the decision is made (normally two weeks after the meeting).

VIII. Land and Tree Preservation Issues

8.1 Land Issues

The site rests on Government land. A Site Boundary Plan is shown at **Appendix II**.

A set of engineering conditions together with the allocation plan for the adaptive re-use of this premises will be prepared by the Lands Department.

The applicants shall pay attention to the restrictions/conditions imposed under the Engineering Conditions, especially the issues listed below:

(a) Roads and parking

Space shall be provided within the site for the parking/loading and unloading of motor vehicles to the satisfaction of the Commissioner for Transport.

(b) Height restriction

No building or structure erected or to be erected within the site shall exceed the existing height of the former Magistracy Building or such other height as may be approved by the District Lands Officer.

(c) New construction

Any proposed new buildings or structures to be erected on the site, or addition to the existing buildings and structures shall be agreed with the District Lands Officer and AMO before commencement of any on-site works.

(d) Fencing

Upon handover of the site to the applicant, he shall provide adequate fencing to the site boundary, security measures or the provision of security guards all to the satisfaction of the District Lands Officer and at the cost of the project.

(e) Erection of signboard

Upon handover of the site, the applicant shall erect and maintain a sign within the site in a position as shall be determined by the District Lands Officer at the cost of the project.

8.2 Tree Issues

Old and Valuable Tree (OVT) in the OVT Register maintained by the Leisure and Cultural Services Department is not present at the site.

Two Old and Valuable Trees (OVT) are located along Sha Tau Kok Road - Lung Yeuk Tau beside the project site. The gas supply, potable water supplies and storm water drain mentioned in Section 4.8 are also located along Sha Tau Kok Road - Lung Yeuk Tau. If the connection to these utilities from the project site fall within the tree protection zone of any OVTs, priority approval and consent from LCSD-OVT should be obtained.

According to site inspections in 2009, a total of 66 trees are surveyed within the site boundary and the surveyed trees are tagged with Tree Number T21-74, T84-85, T169-177 and T236. The Assessment Schedule depicts the conditions and value of trees on site. The Location Plan and Assessment Schedule of trees are shown at **Appendix XIV**.

In general, no tree growing on the site or adjacent thereto shall be interfered with without the prior written consent of the District Lands Officer or the appropriate authority who may, in granting consent, impose such conditions as to transplanting, compensatory landscaping or replanting as he may deem appropriate.

The successful applicant should be responsible for the horticultural maintenance of vegetation and maintenance of trees within the site boundary of this revitalisation project. Every effort should be exercised to preserve the existing trees on site and minimize the adverse effect to them during works period. Will any tree be inevitably affected, the successful applicant shall employ Authorized Person to

submit a tree felling / transplanting proposal in advance to relevant authority for comments in accordance with ETWB TC(W) No. 3/2006.

IX. Slope Maintenance

No slope feature is located within the site of the revitalisation project and slope maintenance is therefore not required.

X. Technical Compliance for Possible Uses

10.1 Uses That Can Possibly be Considered

Possible adaptive re-uses of the site of this revitalisation project include:

- (a) Arts, Culture and Creative Industries
- (b) Field Study, Education or Visitor Centre
- (c) Exhibition or Convention Hall

The uses suggested above appear to be pursuable based on information on hand. However, the technical feasibility of each case will need to be further examined. Applicants are welcomed to come up with suggestions on possible uses that they consider the most suitable for the buildings. The applicants are required to ascertain the technical feasibility, including the structural adequacy, of their proposed uses.

10.2 Technical Considerations

Technical considerations to be given due regard include:

- (a) Compliance with the requirements under the Buildings Ordinance. These requirements include but are not limited to:

Requirements	Remarks
Means of Escape	Some modifications to the existing staircases, lobbies and exit arrangements may be required. In view of the conservation requirements limiting the extent of upgrading works, fire engineering approach may offer a flexible alternative where it is impracticable to comply with prescriptive provisions in the Codes of Practice for the Provision of Means of Escape, especially when designing for special or large and complex buildings or alteration and additions works in existing buildings.

Fire Resisting Construction	Further investigation will be required to demonstrate adequacy of fire resisting construction of the existing building elements. Some upgrading works may be required.
Means of Access for Firefighting and Rescue	Compensatory measures may be required for non-provision or deficient EVA.
Barrier Free Access and Facilities	Various provisions for barrier free access, such as ramps, accessible lift, lifting platform, accessible toilets etc. may be required.
Protection against Falling from Height	Existing balustrades or parapets may need to be upgraded to comply with current requirements.
Structural Adequacy	Structural appraisal for the existing buildings is required to ensure stability of all the building elements. Strengthening works may be required depending on the finding of the structural appraisal and the proposed use.
Fire Service Installation Requirement	Major fire service installation and equipment such as automatic sprinkler system, hose reel system and fire detection system will be required.
Natural Lighting and Ventilation	Compensatory measures may be required for the deficiency.
Provision of Sanitary Fitments	Additional toilet facilities may be required to comply with current requirements.

- (b) Compliance with licensing requirements (for uses requiring issue of licence for their operation);
- (c) Compliance with Conservation Guidelines (see Section VI); and
- (d) Compliance with planning requirements (see Section VII).

The technical aspects listed above might not be exhaustive. Applicants should pay attention that they may need to address other technical considerations in preparing their proposals.

10.3 Further Information on Possible Uses

For illustration purpose, preliminary study has been carried out for uses listed in paragraph 10.1 above. Some information that can be useful to the applicants is listed below:

(a) Heritage Conservation

AMO has no objection in principle to all the examples of uses listed in paragraph 10.1.

(b) Planning

With reference to the examples of uses in paragraph 10.1, uses as Arts, Culture and Creative Industries (as a kind of ‘Place of Recreation, Sports or Culture’) and Field Study, Education or Visitor Centre and Exhibition or Convention Hall are under Column 1 of the Notes of the “G/IC” zone in which uses are always permitted.

(c) Emergency Vehicular Access (EVA)

An internal EVA complying with the requirements stipulated in Part VI of the Code of Practice for the Provision of Means of Access for Firefighting and Rescue Purposes, which is administered by the Buildings Department, will be required. If there are genuine site constraints in the provision of a proper

EVA, fire safety enhancement stipulated in para. 28, Part VI of the above-mentioned Code of Practice may be required.

(d) Licensing

(i) If Former Fanling Magistracy is to be used as an education centre, the successful applicant is required to check whether the proposed mode of operation falls within the definition of a ‘school’ under the Education Ordinance. If affirmative, the successful applicant shall make an application for registration of a school to the Permanent Secretary for Education under the Education Bureau (EDB). Relevant information on registration procedures and forms can be downloaded from the website of EDB (<http://www.edb.gov.hk>).

(ii) If Former Fanling Magistracy is to be used as an exhibition space, the successful applicant should obtain a licence from Food and Environmental Hygiene Department (FEHD) if he intends to carry out:

- any exhibition of any one or more of the followings, namely pictures, photographs, books, manuscripts or other documents or other things;
- a sporting exhibition;
- a cinematograph or laser projection display; or
- a concert, opera, ballet, stage performance or other musical, dramatic or theatrical entertainment

For details on the application of places of public entertainment licence for places other than cinemas and theatres and related matters, the applicant can visit the website of FEHD (<http://www.fehd.gov.hk/licensing/index.html>) for details.

(e) Structural Limitation

The required loading capacities for the possible uses are listed in the table below. For required loading capacities for other specific uses of possible

adaptive re-use not mentioned in this table, reference should be made to the Building (Construction) Regulations (B(C)R).

Possible Adaptive re-use of Former Fanling Magistracy	Required Loading Capacities (kPa)	(B(C) R) Class No.	Usage stated (B (C) R)
(i) Arts, Culture and Creative Industry	5.0	5	Public halls and lounges or Art Galleries
(ii) Field Study Centre	5.0	5	Public halls and lounges
(iii) Education Centre	3.0	3	School Island Colleges
(iv) Visitor Centre	5.0	5	Public halls and lounges
(v) Exhibition or Convention Hall	5.0	5	Public halls and lounges

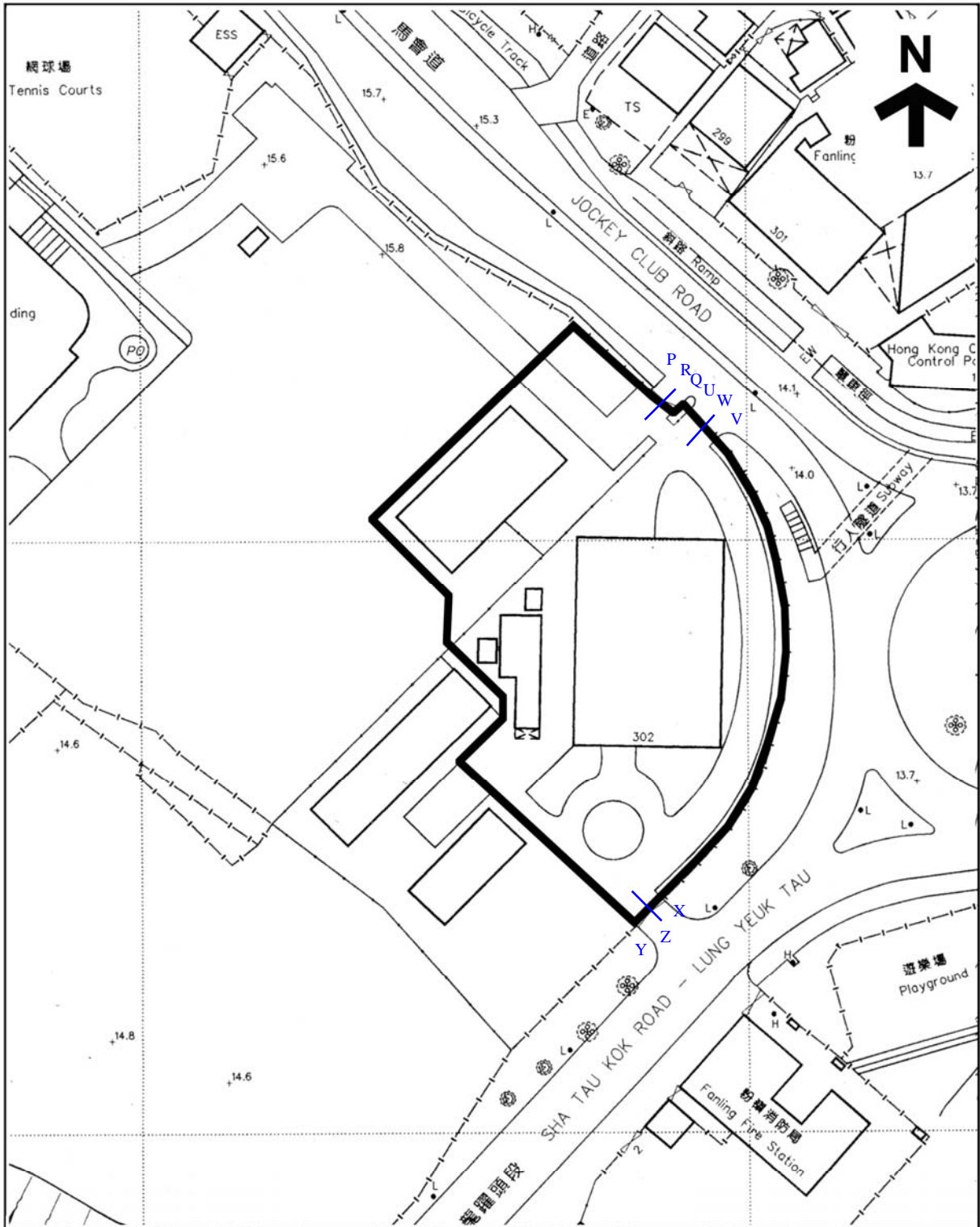
The applicants are advised to make reference to the structural survey report prepared by the Architectural Services Department for details of the allowable imposed loads on different floors of the buildings. For adaptive-re-uses with imposed loading exceeding the loading capacities, it is advised to carry out further structural assessment to investigate the possibility of increasing the floor imposed load, and its subsequent effect on the structural stability of the building in accordance with current codified requirements.

It is always advisable to carry structural assessment for the proposed uses in ground, upper or roof floors in any case.

The applicant's attention is drawn to the existence of a subway near the Former Fanling Magistracy. Any substantial building works on the foundation may affect this subway.

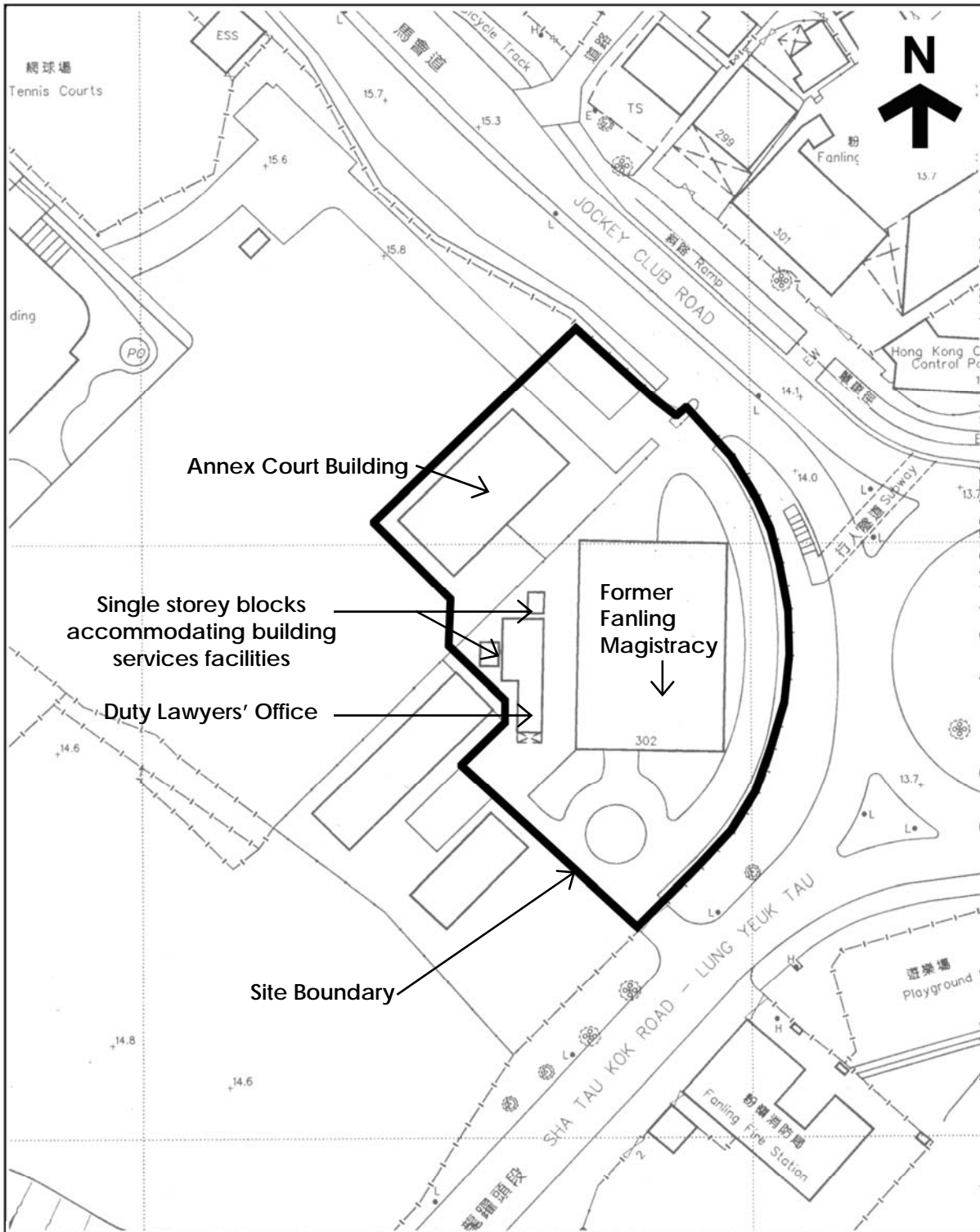
The applicant should also pay attention to the mature trees planted close to the buildings within the site. The effect of the roots of these trees on nearby buildings' foundations may need to be considered.


Appendix I
Location Plan



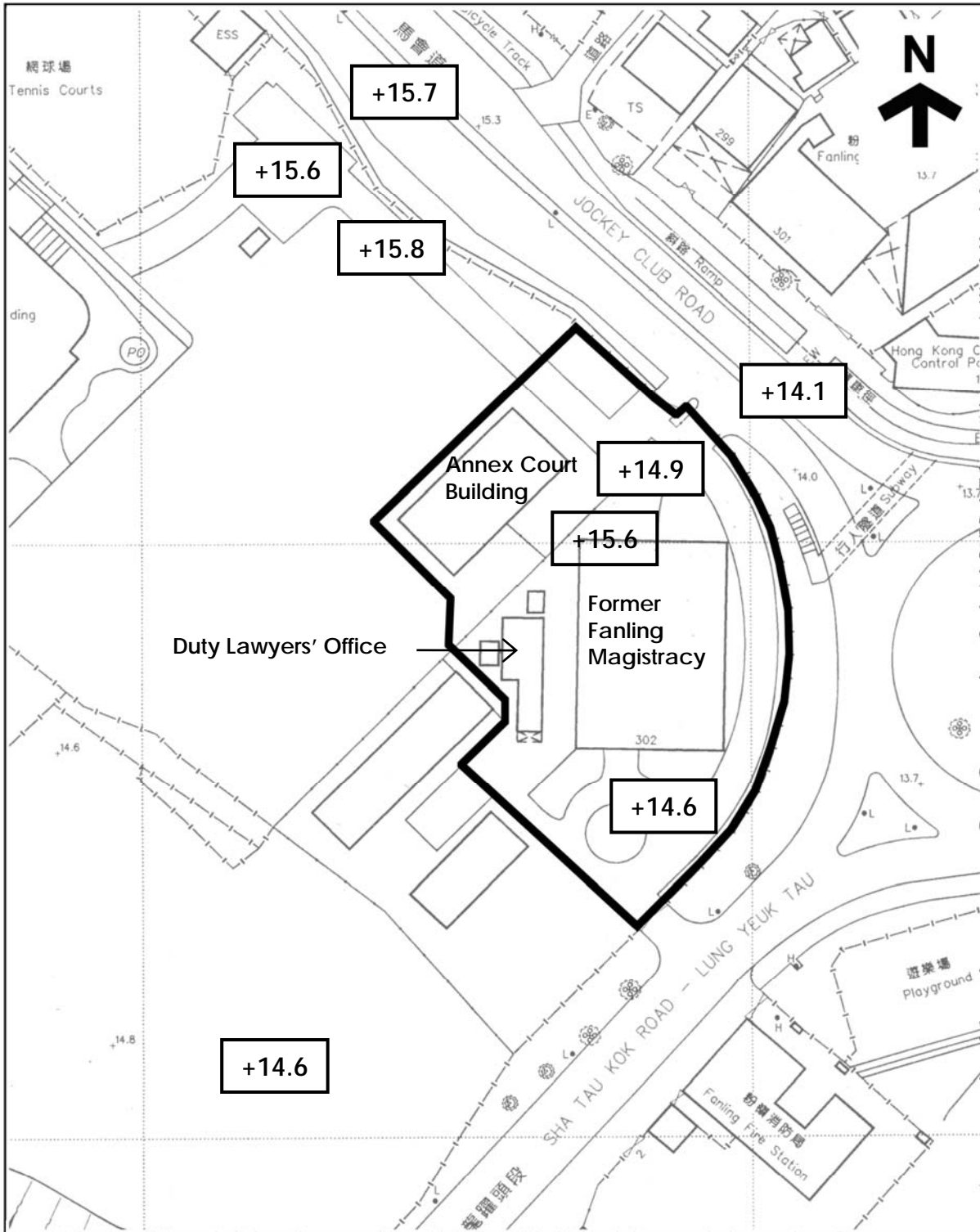
<p>THE SITE</p> <p>EXTRACT PLAN BASED ON SURVEY SHEET No. 3-SW-12B</p> <p>DATE: 03/08/2011</p>	<p>FORMER FANLING MAGISTRACY</p> <p>302 JOCKEY CLUB ROAD FANLING NEW TERRITORIES</p>	<p>DRAWING NO.:</p> <p>APPENDIX I LOCATION PLAN 1:1000</p>
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Appendix II
Site Boundary Plan



<p> SITE BOUNDARY</p> <p>EXTRACT PLAN BASED ON SURVEY SHEET No. 3-SW-12B</p> <p>DATE: 03/08/2011</p>	<p>FORMER FANLING MAGISTRACY</p> <p>302 JOCKEY CLUB ROAD FANLING NEW TERRITORIES</p>	<p>DRAWING NO.:</p> <p><u>APPENDIX II</u> SITE BOUNDARY PLAN 1:1000</p>
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Appendix III
Datum Levels Plan



<p> THE SITE</p> <p>EXTRACT PLAN BASED ON SURVEY SHEET No. 3-SW-12B</p> <p>DATE: <u>03/08/2011</u></p>	<p>FORMER FANLING MAGISTRACY</p> <p>302 JOCKEY CLUB ROAD FANLING NEW TERRITORIES</p>	<p>DRAWING NO.:</p> <p><u>APPENDIX III</u> DATUM LEVELS PLAN 1:1000</p>
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Appendix IV

Summary of Site and Building Information

Summary of site information is listed below:

Building Name	Former Fanling Magistracy and other associated buildings
Address	302 Jockey Club Road, Fanling, New Territories
Site Area	Approximately 4,131 sq. metres
Major Datum Level	Ranges from about +14.6mPD to +15.6mPD
Zoning	Government, Institution or Community (G/IC)

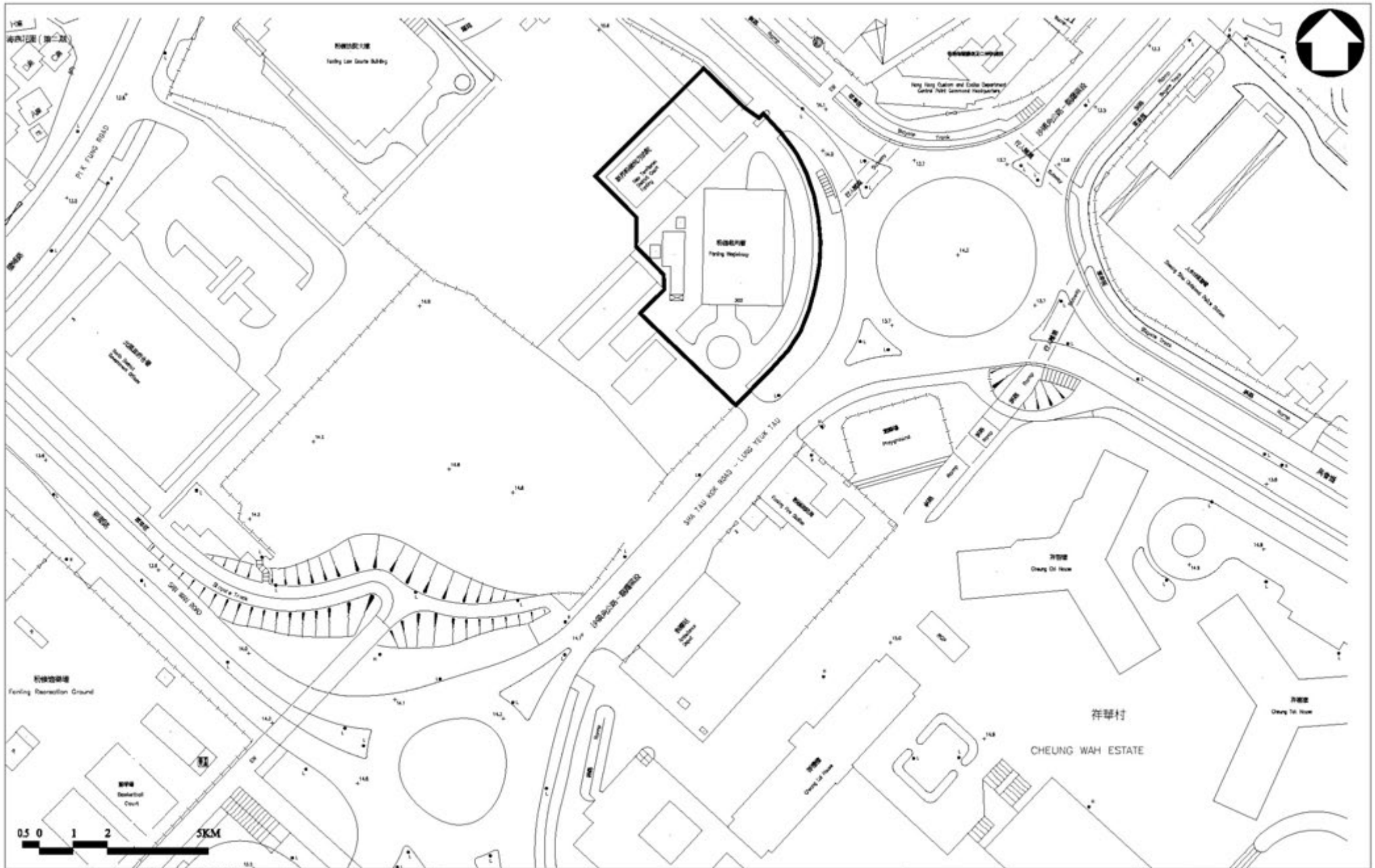
Summary of building information is listed below:

Name of Buildings	<p>The site consists of the following buildings:</p> <ul style="list-style-type: none"> (i) Former Fanling Magistracy; (ii) Annex Court Building; (iii) Duty Lawyers' Office; and (iv) Two single storey blocks accommodating building services facilities 	
Year of Completion	Name of Buildings:	Year of Completion:
	Former Fanling Magistracy	1960
	Annex Court Building	1983
	Duty Lawyers' Office	around 1997
Gross Floor Area	<p>Approximately 1,980 sq. metres including approximately:</p> <ul style="list-style-type: none"> (i) 1,530 sq. metres for Former Fanling Magistracy; (ii) 350 sq. metres for Annex Court Building; (iii) 100 sq. metres for Duty Lawyers' Office. <p>The two single storey blocks accommodating building services facilities are not accountable to G.F.A.</p>	
Historic Grading	<p>Former Fanling Magistracy: Grade 3</p> <p>Annex Court Building: Not yet graded</p> <p>Duty Lawyers' Office: Not yet graded</p>	
Original and Recent Uses	<p>Original use: Magistracy</p> <p>Recent use: Vacant and is rented out under short-term tenancy for film-shooting.</p>	

<p>Schedule of Accommodation</p>	<p><u>Former Fanling Magistracy:</u> G/F – Entrance hall, cells, police officers’ rooms and shroffs 1/F – Courtrooms, magistrates’ chambers, offices, public lobby R/F – Air-conditioning unit room <u>Annex Court Building:</u> G/F – Courtrooms, judges’ chambers, offices and public lobby <u>Duty Lawyers’ Office:</u> G/F – Lawyers offices and interview rooms</p>
<p>Materials of Construction</p>	<p><u>Former Fanling Magistracy:</u> Reinforced concrete beam/slab construction, reinforced concrete staircases, reinforced concrete ground floor slab, reinforced concrete columns, brick & reinforced concrete walls and reinforced concrete roof slab; <u>Annex Court Building:</u> Reinforced concrete slab construction and wall in reinforced concrete, roof in reinforced concrete; <u>Duty Lawyers’ Office:</u> Brick wall construction with GMS roof truss and GMS roof purlins and corrugated sheet.</p>
<p>Internal Circulation</p>	<p><u>Former Fanling Magistracy:</u> Magistrates’ staircase leads from G/F to Magistrates’ chambers. Defendant staircase leads from cells at G/F to Courtrooms at 1/F. Public staircase connects public lobby at G/F to 1/F; <u>Annex Court Building:</u> Single storey: Direct access to all rooms; <u>Duty Lawyers’ Office:</u> Single storey: Direct access to all rooms.</p>

Appendix V
Architectural Drawings

Architectural Drawings	
Drawing No.	Title
FM-01	Site Plan
FM-02	Ground Floor Plan of Former Fanling Magistracy
FM-03	First Floor Plan of Former Fanling Magistracy
FM-04	Roof Plan of Former Fanling Magistracy
FM-05	East Elevation of Former Fanling Magistracy
FM-06	South Elevation of Former Fanling Magistracy
FM-07	North Elevation of Former Fanling Magistracy
FM-08	Section of Former Fanling Magistracy
FM-09	Ground Floor Plan of Annex Court Building
FM-10	Elevations and Section of Annex Court Building
FM-11	Plan, Elevation and Section of Duty Lawyers' Office



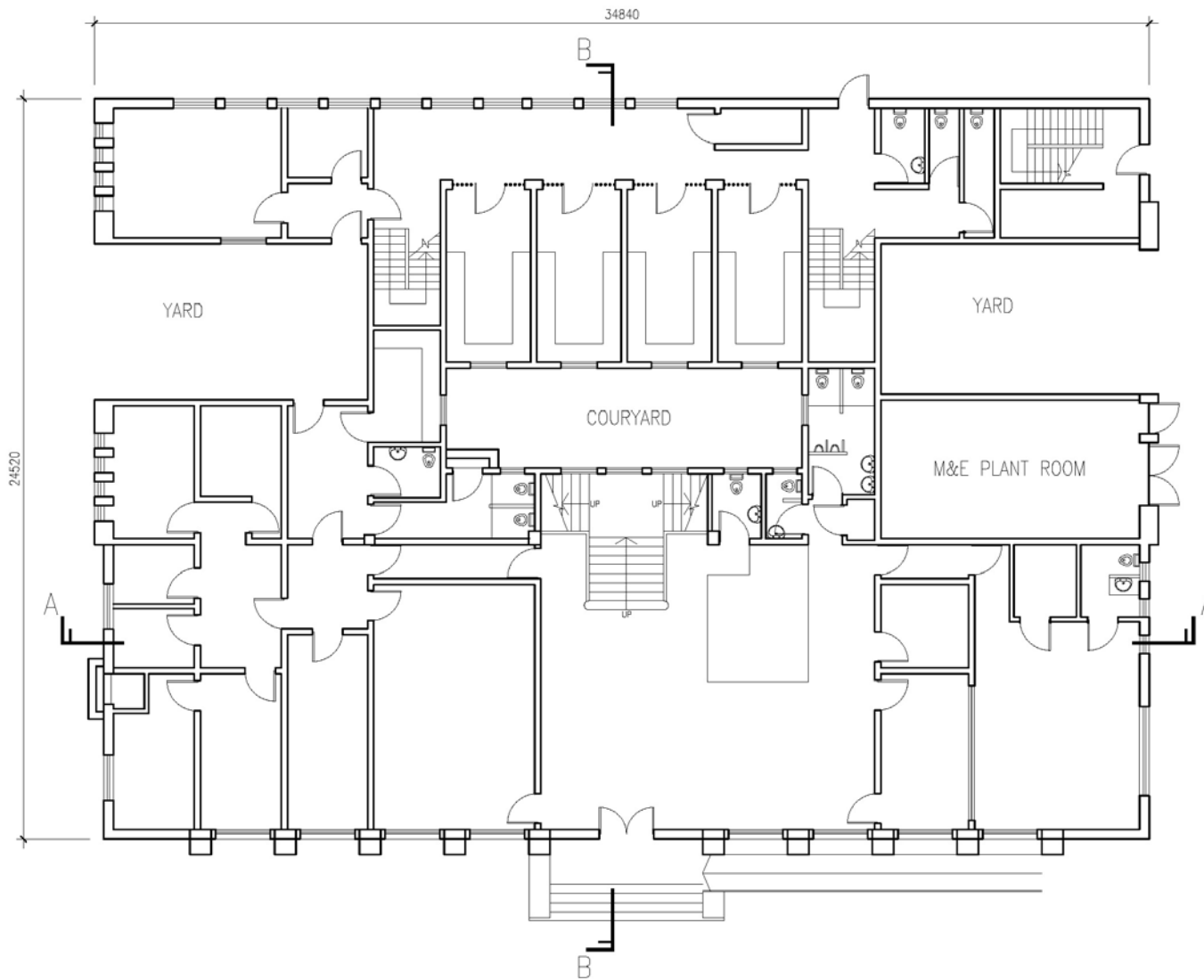
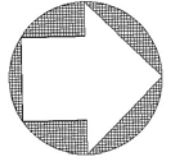
PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION : 15/12/2007

NOTES:
 The drawings should not be continued as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
Former Fanling Magistracy 302 Jockey Club Road, Fanling, New Territories

DRAWING TITLE:
SITE PLAN
 SCALE:
1 : 1000

DRAWING NO.:
FM-01




ARCHITECTURAL SERVICES DEPARTMENT

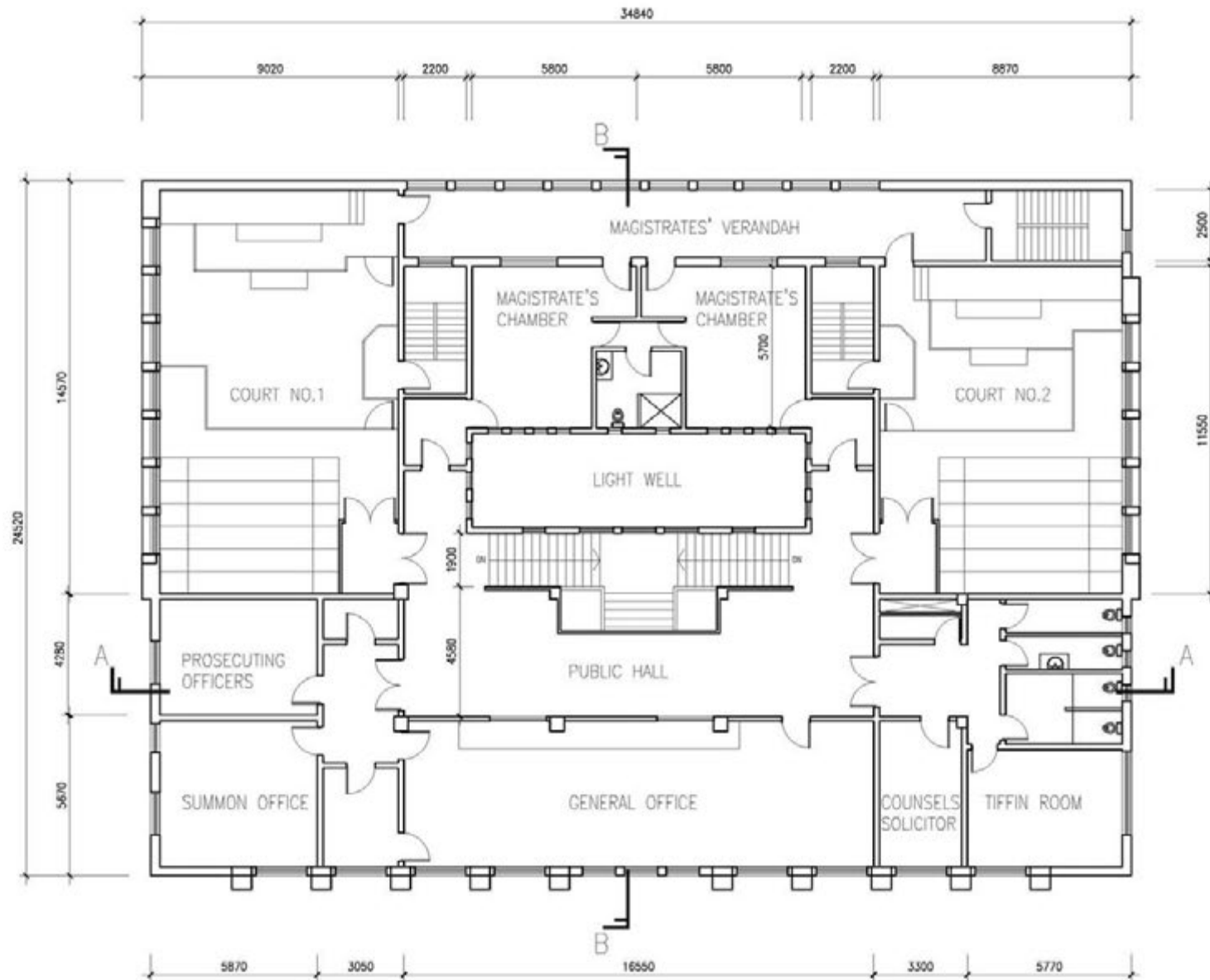
PRODUCED BY:
ACO
Architectural Conservation Office
DATE OF PRODUCTION : 15/12/2007

NOTES:
The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
**Former Fanling Magistracy 302 Jockey Club Road,
Fanling, New Territories**

DRAWING TITLE:
**GROUND FLOOR PLAN OF FORMER
FANLING MAGISTRACY**
SCALE:
1 : 150

DRAWING NO.:
FM-02




 ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:

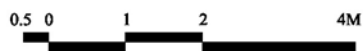
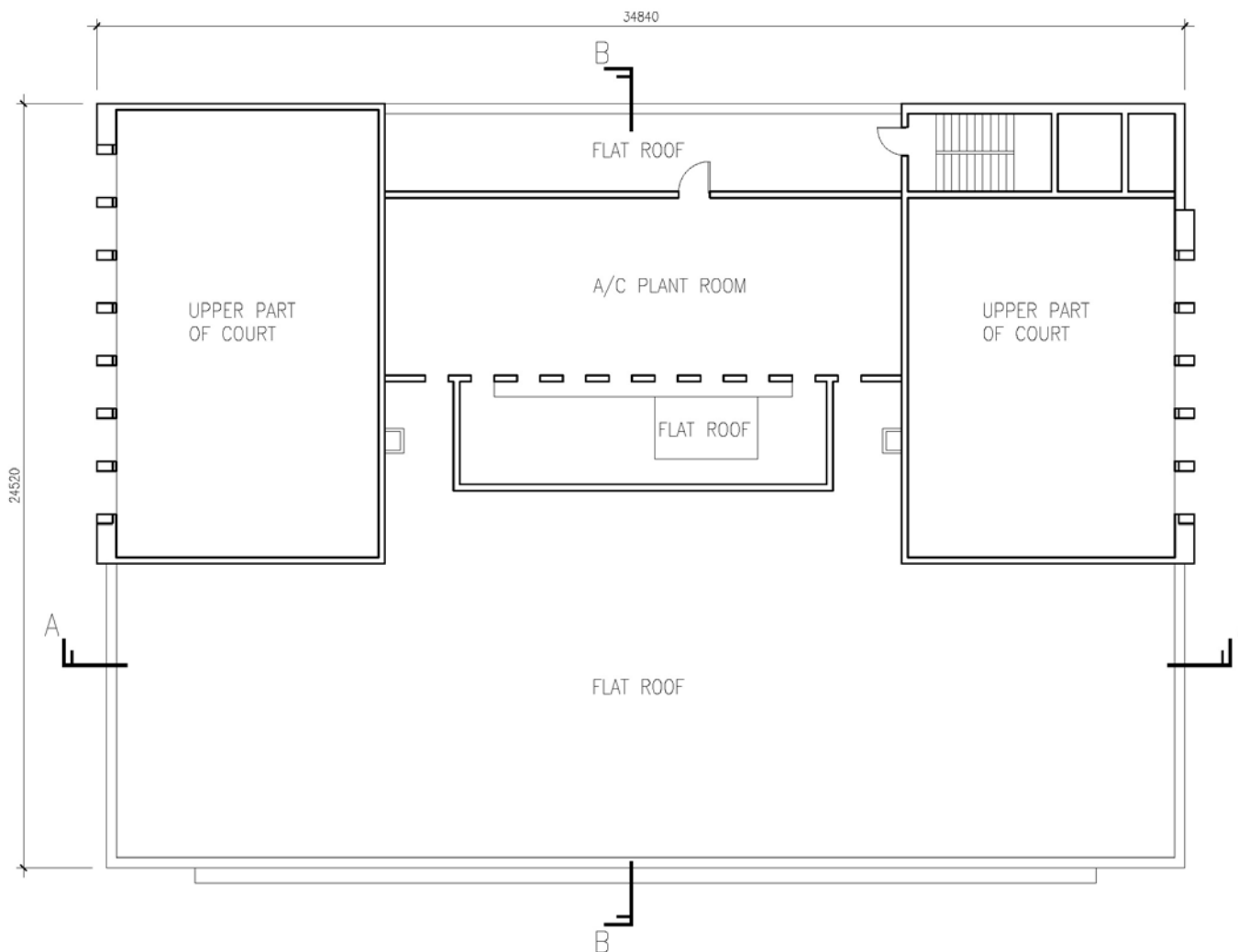
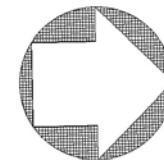
 Architectural Conservation Office
 DATE OF PRODUCTION : 15/05/2009

NOTES:
 The drawings should not be certified as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.
 All dimensions are in millimetres.

PROJECT:
 Former Fanling Magistracy 302 Jockey Club Road,
 Fanling, New Territories

DRAWING TITLE:
 FIRST FLOOR PLAN OF FORMER
 FANLING MAGISTRACY
SCALE:
 1 : 150 (A3)

DRAWING NO.:
 FM-03




ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:
ACO
Architectural Conservation Office
DATE OF PRODUCTION : 15/12/2007

NOTES:
The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.

PROJECT:
Former Fanling Magistracy 302 Jockey Club Road,
Fanling, New Territories

DRAWING TITLE:
ROOF PLAN OF FORMER FANLING
MAGISTRACY
SCALE:
1 : 150

DRAWING NO.:
FM-04



EAST ELEVATION




 ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION : 15/09/2009

NOTES:
 The drawings should not be
 construed as the exact site
 situation. The drawings should
 be verified on site for actual
 dimension, area and layout by
 authorized land surveyor.
 All dimensions are in millimetres.

PROJECT:
 Former Fanling Magistracy 302 Jockey Club Road,
 Fanling, New Territories

DRAWING TITLE:
 EAST ELEVATION OF FORMER
 FANLING MAGISTRACY
 SCALE:
 1 : 150 (A3)

DRAWING NO.:
 FM-05



SOUTH ELEVATION




 ARCHITECTURAL SERVICES DEPARTMENT

PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION : 15/05/2009

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimensions, area, and layout by authorized land surveyor.
 All dimensions are in millimetres.

PROJECT:
 Former Fanling Magistracy 302 Jockey Club Road,
 Fanling, New Territories

DRAWING TITLE:
 SOUTH ELEVATION OF FORMER
 FANLING MAGISTRACY
SCALE:
 1 : 150 (A3)

DRAWING NO.:
FM-06



NORTH ELEVATION



ASD
ARCHITECTURAL SERVICES DEPARTMENT

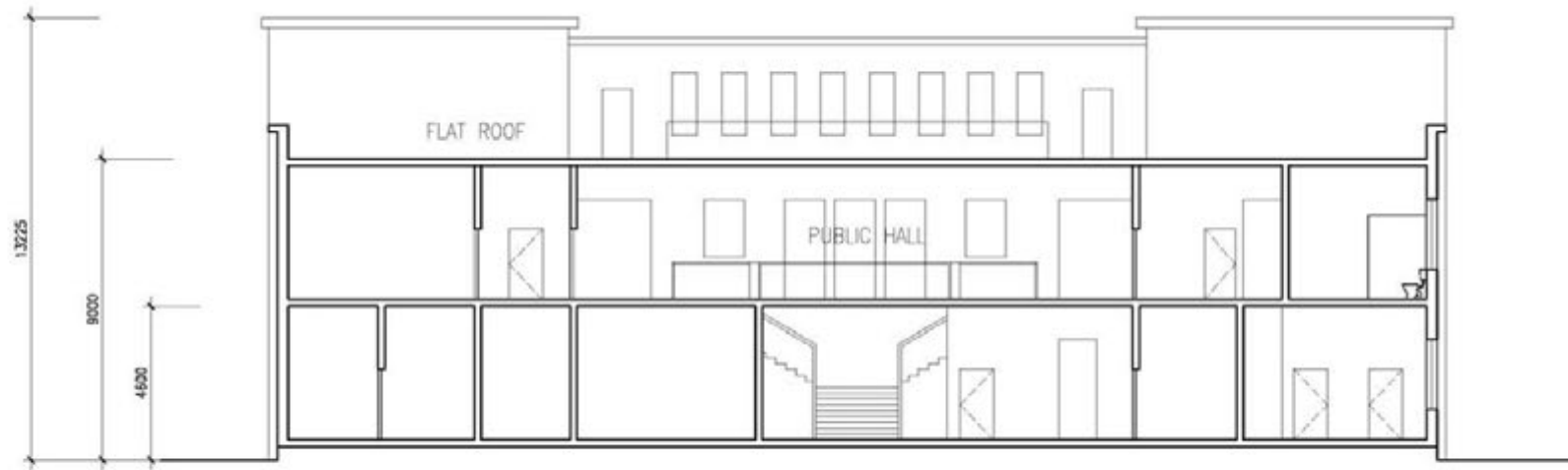
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ACO
Architectural Conservation Office
DATE OF PRODUCTION : 15/05/2009

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All dimensions are in millimetres.

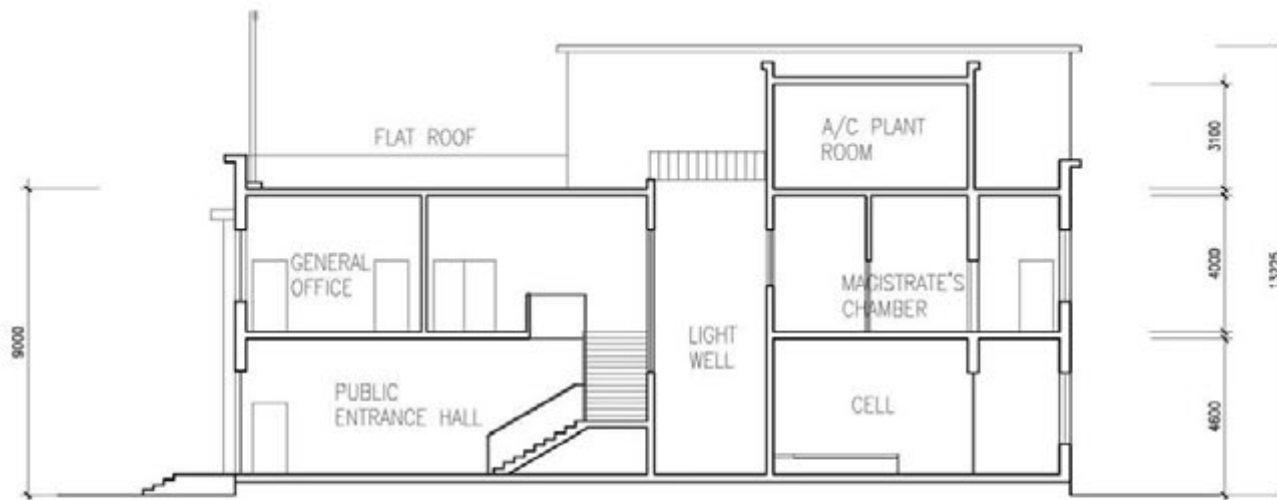
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Former Fanling Magistracy 302 Jockey Club Road,
Fanling, New Territories

DRAWING TITLE:
NORTH ELEVATION OF FORMER
FANLING MAGISTRACY
SCALE:
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DRAWING NO.:
FM-07

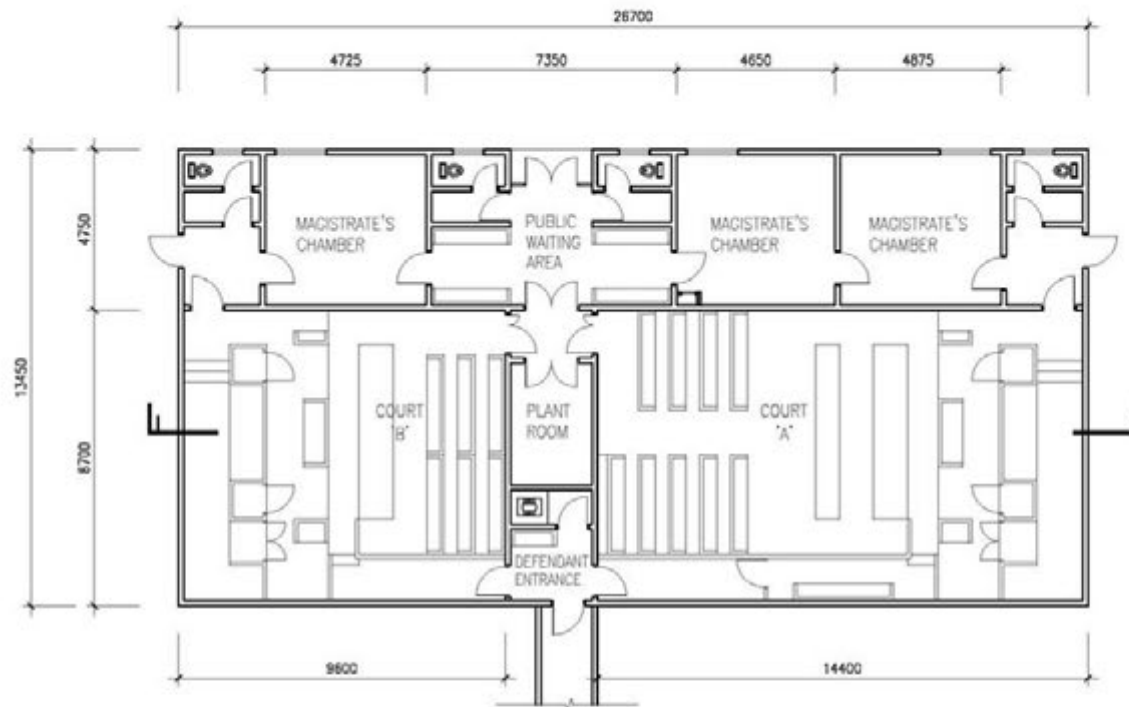


SECTION A-A



SECTION B-B





GROUND FLOOR PLAN



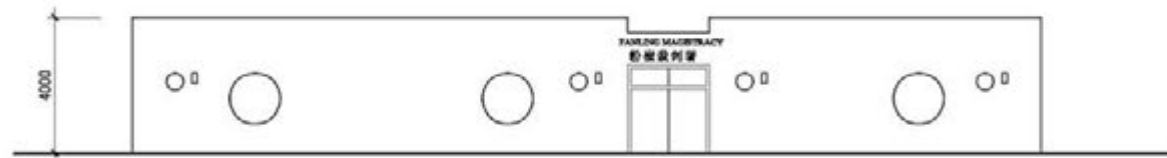
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Architectural Conservation Office
DATE OF PRODUCTION : 15/05/2009

NOTES:
The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area, and layout by authorized land surveyor.
All dimensions are in millimetres.

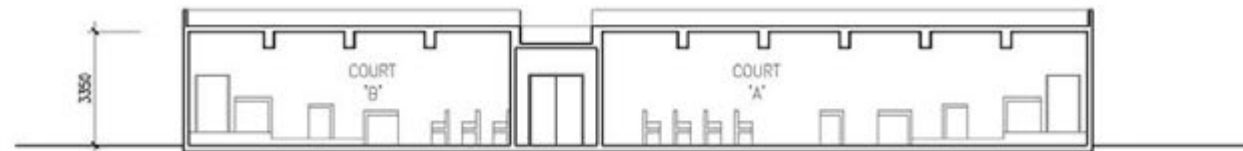
PROJECT:
Former Fanling Magistracy 302 Jockey Club Road,
Fanling, New Territories

DRAWING TITLE:
GROUND FLOOR PLAN OF ANNEX
COURT BUILDING
SCALE:
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DRAWING NO.:
FM-09



ELEVATION



SECTION



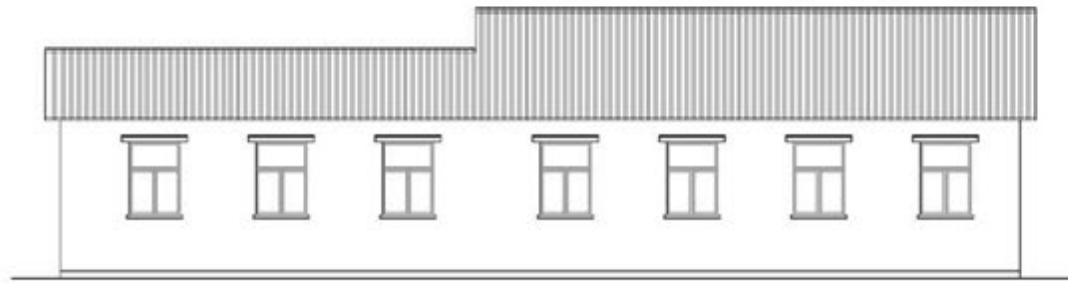
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ACO
 Architectural Conservation Office
 DATE OF PRODUCTION : 15/05/2009

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.
 All dimensions are in millimetres.

PROJECT:
 Former Fanling Magistracy 302 Jockey Club Road,
 Fanling, New Territories

DRAWING TITLE:
 ELEVATION AND SECTION OF ANNEX
 COURT BUILDING
 SCALE:
 1 : 150 (A3)

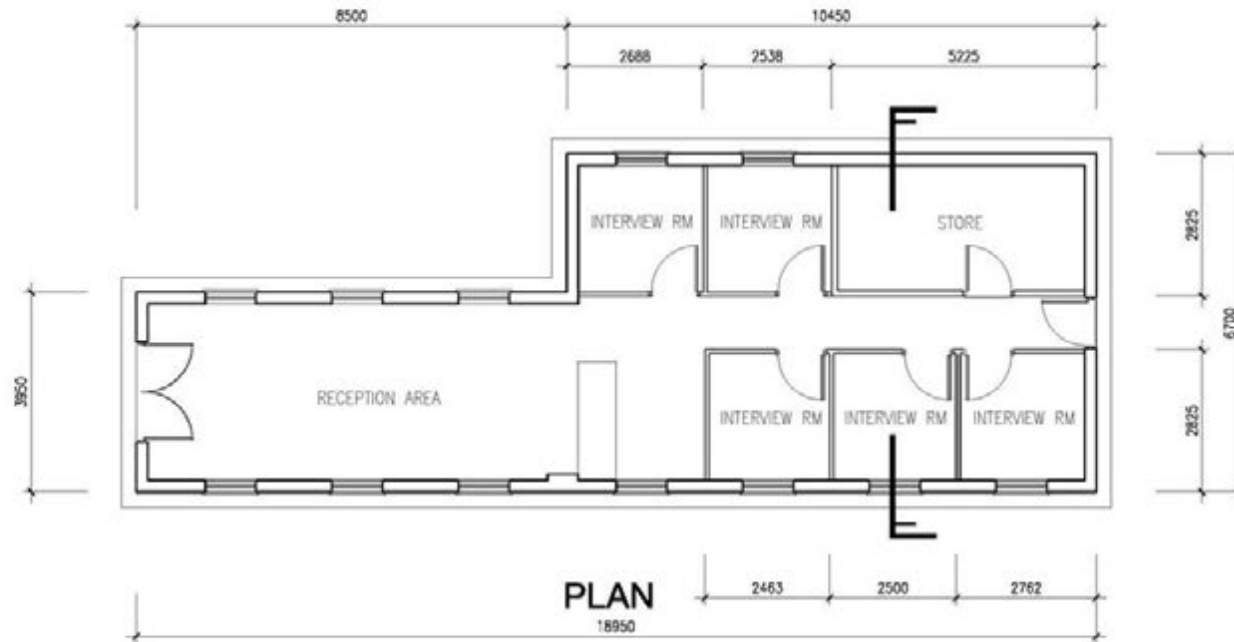
DRAWING NO.:
 FM-10



ELEVATION



SECTION



PLAN

18950



PRODUCED BY:
ACO
 Architectural Conservation Office
 DATE OF PRODUCTION : 15/05/2009

NOTES:
 The drawings should not be construed as the exact site situation. The drawings should be verified on site for actual dimension, area and layout by authorized land surveyor.
 All dimensions are in millimetres.

PROJECT:
**Former Fanling Magistracy 302 Jockey Club Road,
 Fanling, New Territories**

DRAWING TITLE:
 PLAN, ELEVATION AND SECTION OF DUTY
 LAWYERS' OFFICE
 SCALE:
 1 : 100 (A3)

DRAWING NO.:
FM-11

Appendix VI

Photos of the Site and Buildings

1. Site



View of vehicular entrance gate at Sha Tau Kok Road – Lung Yeuk Tau

2. Former Fanling Magistracy



View of east façade of Former Fanling Magistracy



View of north façade of Former Fanling Magistracy



View of entrance hall at ground floor of Former Fanling Magistracy



View of public lobby at upper floor of Former Fanling Magistracy



View of Courtroom No.1 of Former Fanling Magistracy



View of Courtroom No.2 of Former Fanling Magistracy



View of general office at upper floor of Former Fanling Magistracy



View of Magistrates' chamber at upper floor of Former Fanling Magistracy



View of flat roof of Former Fanling Magistracy

3. Annex Court Building



View of main façade of Annex Court Building



Side façade of Annex Court Building and vehicular access from Jockey Club Road

4. Duty Lawyers' Office



View of Main Entrance of Duty Lawyers' Office



One of the two single storey buildings next to Duty Lawyers' Office accommodating mechanical equipment and water tank

Appendix VII
Recurrent Expenditure

(A) Electricity Fee

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Energy Consumption Indicator ⁽²⁾ (MJ/m ² /annum) (d)	Energy Consumption per annum (kWh/annum) ⁽³⁾ (e)=(c)x(d)x0.2778	Estimated Electricity Fee(\$) ⁽⁴⁾ per annum	Energy Consumption is based on the following Groups of Uses on EMSD's website ⁽²⁾
Exhibition and Convention Hall	1,980	80%	1,584	1043	458,957	443,856	Offices
Field Study, Education or Visitor Centre				532	234,099	226,419	Post-secondary Colleges

Notes:

- (1) It is assumed the length of operating hours is in line with the normal mode of operations, e.g. 9 hours for exhibition and convention hall, field study, education or visitor centre etc.
- (2) The respective "Energy Consumption Indicators" can be found at http://www.emsd.gov.hk/emsd/eng/pee/ecib_indicators.shtml.
- (3) 1MJ x 0.2778 = 1kWh
- (4) Electricity fee of Kowloon side is based on the tariff charged by China Light & Power Company (CLP).
CLP: @\$0.858 for first 5,000 units and @\$0.849 thereafter. Fuel clause adjustment charge is @\$0.118.
1 Unit = 1 kWh.
The estimated electricity fee is for cost projection in the application only. The actual fee will be subject to the then tariff and actual consumption.

(B) Water and Sewage Charge

Possible Use(s) ⁽¹⁾	GFA (m ²) (a)	Net Gross Ratio (b)	IFA (m ²) (c)=(a)x(b)	Estimated Water & Sewage Charge(\$)/month (d) = (c) x \$0.3	Estimated Water & Sewage Charge(\$) ⁽²⁾ /annum (e) = (d) x 12
Exhibition and Convention Hall	1,980	80%	1,584	475	5,700
Field Study, Education or Visitor Centre					

Notes:

- (1) According to the standard accommodation rate issued by the Government Property Agency, the estimated monthly water & sewage charges of Government-owned offices is \$0.3 per m².
Based on the above estimate, it is assumed that the use of water per m² of :
Exhibition and convention hall, field study, education or visitor centre = Offices
- (2) The estimated water and sewage charge is for cost projection in the application only. The applicants are free to make reference to other sources as appropriate.
The actual water and sewage charge will be subject to the then tariff and actual consumption.

(C) Estimated Rates and Rent

Possible Use(s)	GFA (m ²)	Site Area (m ²)	Rateable Value ⁽¹⁾ (\$) (a)	Rates/annum (\$) (b) = (a) x 5%	Rent/annum (\$) (c) = (a) x 3%	Rates & Rent/annum (\$) (d) = (b) + (c)
Exhibition and Convention Hall	1,980	4,131	1,392,000	69,600	41,760	111,360
Field Study, Education or Visitor Centre						


Notes:

(1) The above rateable values are rough estimates based on the possible uses and are for cost projection in the application only. The actual assessment of rateable values will depend on the actual use, operating mode, extent of renovation, actual floor area, etc. of each historic building. The rateable value will be subject to annual revaluation by the Rating and Valuation Department.

Appendix VIII

Plan Showing Immediate Surrounding

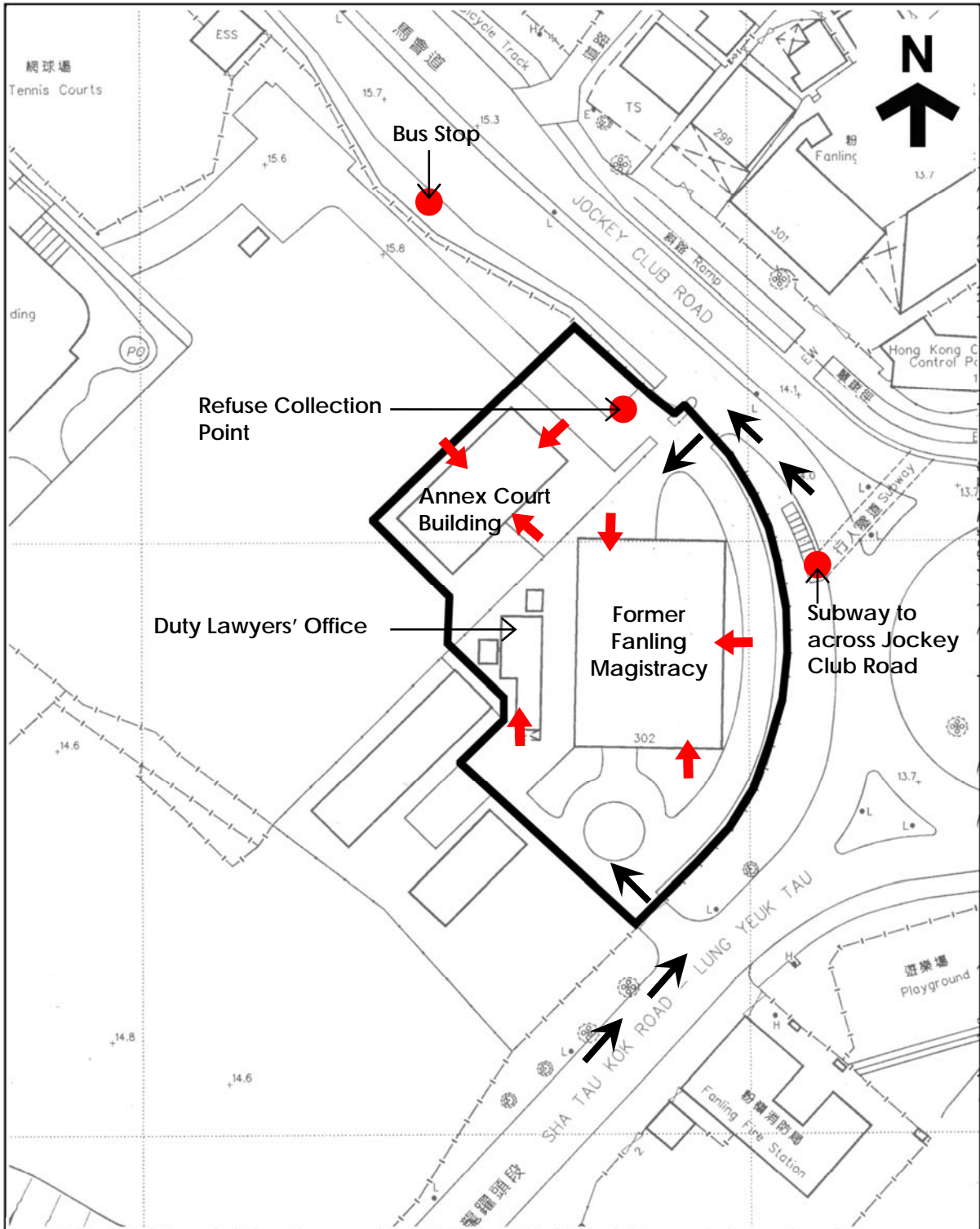


 THE SITE
 EXTRACT PLAN BASED ON SURVEY
 SHEET No. 3-SW-A
 DATE: 03/08/2011

FORMER FANLING MAGISTRACY
 302 JOCKEY CLUB ROAD
 FANLING
 NEW TERRITORIES

DRAWING NO.:
 APPENDIX VIII
 PLAN SHOWING IMMEDIATE
 SURROUNDING
 1:5000

Appendix IX
Access Plan



<p>  THE SITE  VEHICULAR ACCESS  PEDESTRIAN ENTRANCE DATE: 03/08/2011 </p>	<p> FORMER FANLING MAGISTRACY 302 JOCKEY CLUB ROAD FANLING NEW TERRITORIES </p>	<p> DRAWING NO.: APPENDIX IX ACCESS PLAN 1:1000 </p>
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Appendix X
List of Architectural Features
to be Preserved

Former Fanling Magistracy
Architectural Features to be Preserved

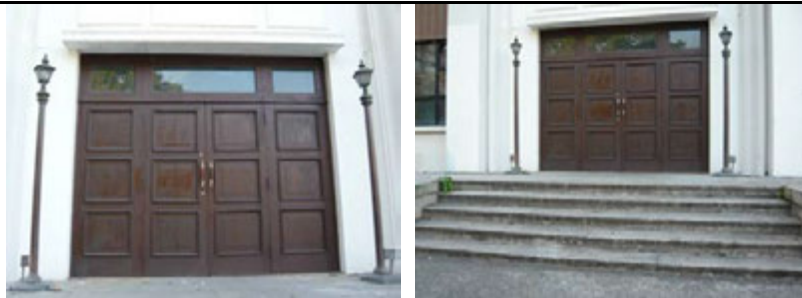
I. FORMER FANLING MAGISTRACY – MAIN BUILDING

A) External (East Elevation facing Jockey Club Road)

1.1) Main façade of symmetrical layout, which consists of a central projecting bay, a projecting eave and grooved stucco and granite base at two sides; the central projecting bay with four strips of double height narrow windows on each side, tile finished aprons, entrance at centre and simplified version of “giant order” of neo-classical columns and a deep overhang.



1.2) Main entrance for public with moulded architraves and granite steps in front



1.3) Frieze above the main entrance (with the characters showing names of the Magistracy removed)



1.4) Ornamental light fittings at front entrance



B) External (North Elevation)

1.5) Three bay wide façade with grooved stucco wall finishes and granite base separated by a string course; a projecting bay from 1/F (corresponding to the court room) consisting of five strips of double height narrow windows decorated with deep overhang, classical motif and corbels.



1.6) Timber side entrance door with moulded architrave and door head panel, ornamental light fitting on door head and granite threshold & steps leading to the entrance.



1.7) Regularly spaced window openings with metal framed windows, protruding window sills and metal grilles behind.



C) External (South Elevation)

1.8) Two bay wide façade finished with grooved stucco and granite base separated with a string course; a projecting bay from 1/F (corresponding the court room) consisting of seven strips of double height narrow windows, deep overhang and classical motif and corbel.



1.9) The garages at G/F with metal gate and opening surrounds



1.10) Regularly spaced windows with metal framed windows, protruding window sills and metal bars behind



1.11) Side entrance with moulded architrave, door head panel and granite steps leading to the doorway



D) External (West Elevation)

1.12) Grooved stucco finished façade with moulded string courses



1.13) Ornamental light fittings



1.14) Regularly spaced window openings with metal window frame, protruding window sills and metal bar/ mesh behind

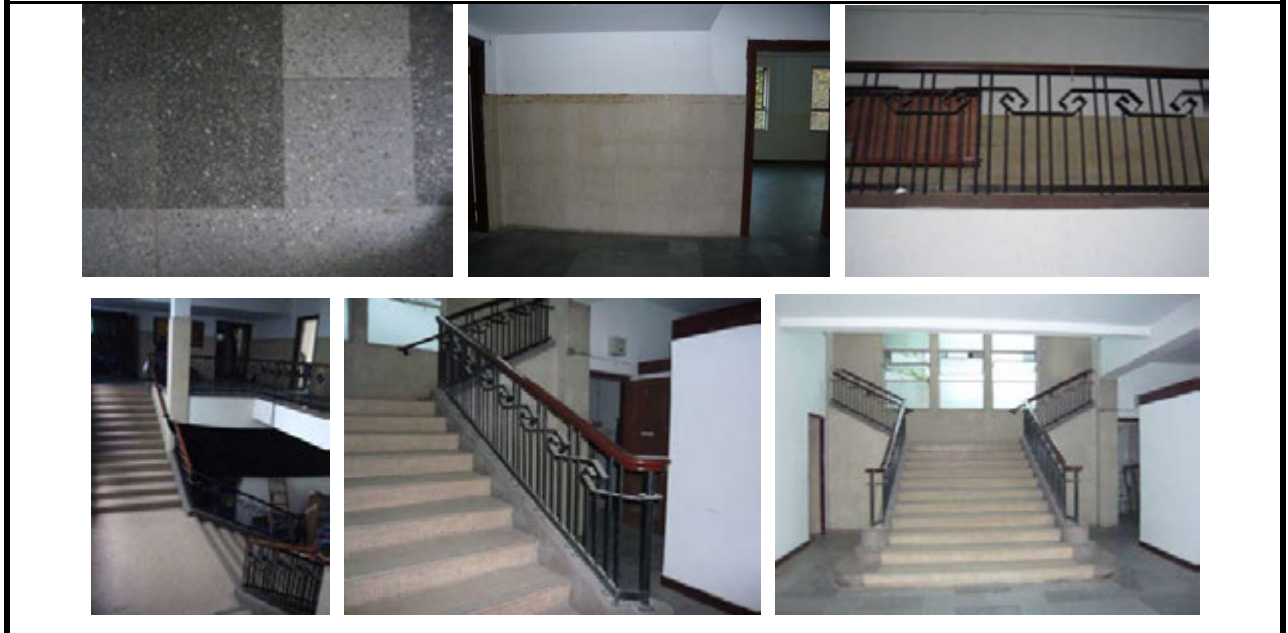


1.15) Featured parapet of 1/F semi-outdoor corridor



E) Internal

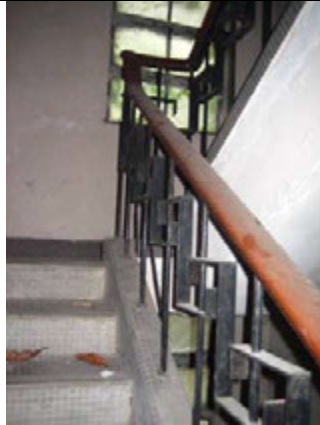
1.16) Central atrium of both G/F and 1/F with random patterned artificial granite tiles as floor finishes, terrazzo tiles as wall finishes, the central staircase, ornamental metal balustrades and profiled timber railings



1.17) One of the detention cells with concrete benches, fan light with metal grilles and mesh and metal gate



1.18) Magistrates' staircase leading from G/F to roof, with ornamental metal balustrade and profiled timber railing



1.19) One of the two main courtrooms with original settings including wooden flooring and steps, wooden benches, Clerk's bench, Magistrate's bench, raised dais, Prisoner's Dock, security bars, iron gate, lobby, doors, frames, wall panelling, moulded ceiling panels and the staircase leading from detention cells to the court rooms



F) Roof

1.20) Metallic flag pole



1.21) Light well with narrow windows to atrium



II. SURROUNDING

2.1) Simple ornamented iron fencing at the boundary facing Jockey Club Road



2.2) Light fittings with granite finished post



2.3) Mature trees




Appendix XI


**List of Required Treatment to
Architectural Featur**

**Former Fanling Magistracy
Required Treatment to Architectural Features**


I. FORMER FANLING MAGISTRACY – MAIN BUILDING


A) External

Architectural Feature	Required Treatment
a) Frieze above the main entrance (with the characters showing names of the Magistracy removed)	The frieze should be preserved in-situ. The characters should be restored subject to the Judiciary’s advice. No objection to put new sign over it after restoration but works should be carried out in a reversible manner.
	

Architectural Feature	Required Treatment
b) External walls	All granite / stucco shall be cleaned and corrosive cleaning chemicals must not be used. Paint on tiled aprons should be removed and tiles should be repaired subsequently as necessary. Do not install any structure projecting out of the front external walls such as awning, additional shading fins or window-typed air-conditioning units.
	


Architectural Feature	Required Treatment
c) Ornamental light fittings	Repair and polish to make good finish as necessary.
	

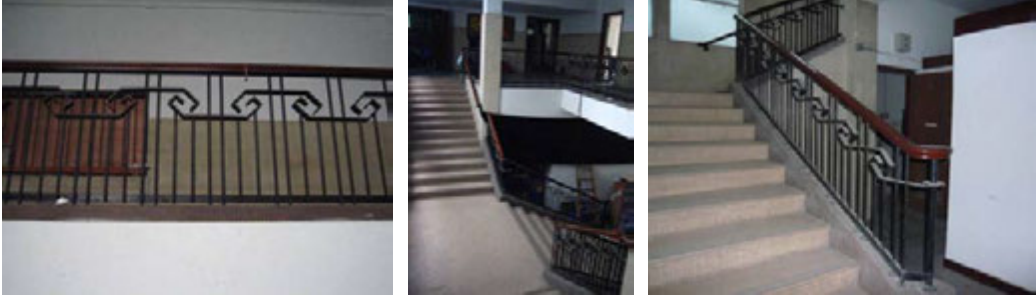
Architectural Feature	Required Treatment
d) Main and side entrance door with granite threshold and steps	Repair timber door as necessary. Ironmongery of the main entrance is not original and should be replaced by appropriate ones of compatible size and style approved by AMO. Repair and clean granite threshold with bristle or nylon brushes and clean water.
	


Architectural Feature	Required Treatment
e) Regularly spaced window opening with metal window framed windows and metal grilles behind	Remove window typed air-conditioners and exhaust fan and restore windows as necessary. Replace deteriorated metal window frames by the same. Do not alter the size of window openings. Retain all metal grilles on G/F unless approved by AMO.
	


Architectural Feature	Required Treatment
f) Garage entrance gate	Clean, repair, repaint and treat metal gates with corrosion protection as appropriate. Remove redundant building services installations and reroute ducting and wiring to interior.
	


B) Internal


Architectural Feature	Required Treatment
a) Terrazzo wall tiles and artificial granite floor tiles of random pattern	To be cleaned clean water. Corrosive cleaning chemicals must not be used.
	


Architectural Feature	Required Treatment
b) Staircase and atrium void with ornamental ironwork balustrade and profiled timber railing	The timber railing should be sanded and polished as necessary, not sealed or stained. The ornamental ironwork balustrade should be derusted, retreated with corrosion protector and repaint as appropriate. Upgrading work to the balustrade to meet current standards may be permitted subject to AMO's approval.
	


Architectural Feature	Required Treatment
c) Detention cells with concrete benches, fan light with metal grilles and mesh and metal gate	At least one detection cell including iron grilles & gates, fan window with metal bars & mesh and concrete benches should be preserved for conservation purposes.
	


Architectural Feature	Required Treatment
d) Courtrooms, prisoner's staircases from cells to courts	All Courts may be stripped out if necessary and wall and floor surfaces made good, but at least one of the major Courts on 1/F with fittings and fixtures including benches, steps, chairs, clock, entrance lobby, panels to walls and ceiling, and Prisoner's staircase shall be preserved for heritage preservation purposes. The double storey spaces at all major Courts shall be kept and no additional floor to cover entire floor above may be built (but mezzanine floor may be allowed, subject to AMO's approval).
	


Architectural Feature	Required Treatment
e) Magistrates' staircase, with ornamental metal balustrade and profiled timber railing	Upgrade to suit modern standard as necessary. Alteration of railing and balustrade may be permitted subject to AMO's approval.
	


Architectural Feature	Required Treatment
f) Furniture (Notice boards, built-in cupboards, partitions, counters, desks, shelves etc.)	Except those in the court to be preserved, take down and clear away the furniture, and make good wall surfaces.
	


Architectural Feature	Required Treatment
g) Signage/ logo	Remove and return to the appropriate government departments if required. Make good wall surfaces.
	

Architectural Feature	Required Treatment
h) Internal partition	Except those of the preserved courts, cells and staircases, alternation and removal of partition is permitted subject to Registered Structural Engineer's verification.
	

Architectural Feature	Required Treatment
i) Redundant staircases, security grilles, bars, iron gates, etc.	Redundant staircases, security grilles, bars, iron gates, etc. may be removed subject to AMO's approval (except the one leading to the Court to be preserved). It is also allowed to modify or extend the existing staircases for compliance with statutory requirements, subject to the approval of AMO.
	

Architectural Feature	Required Treatment
j) Ceiling	Suspended ceiling should be removed to check any roof leakage for repair; no objection to reinstating false ceiling in rooms if necessary.
	

Architectural Feature	Required Treatment
k) Redundant cables and conduit, light fittings, ceiling bars etc.	Remove redundant building services installations and rewire as necessary and if required.
	


Architectural Feature	Required Treatment
l) Toilets	If functionally not required, take down cubicle partitions, remove fittings and plumbing, make good walls and floors, and seal off drains.
	

C) Roof


Architectural Feature	Required Treatment
a) Metallic flag pole	Clean and repair by appropriate cleaning agent. Do not install signage or other structure to cover up the flag pole and its base.
	


Architectural Feature	Required Treatment
b) Light well	Do not deck over the light well. Remove unnecessary ducting and reroute the exposed E/M ducting to interior. Remove later added metal canopy over openings. No objection to remove later added structure in the light well.
	


II. DUTY LAWYERS' OFFICE

Architectural Feature	Required Treatment
a) Later added duty lawyers' office, and the two small associated blocks with building services facilities	The structures hinder the appreciation to the main building's elevation and thus should be demolished unless approval by AMO.
	

III. SURROUNDING

Architectural Feature	Required Treatment
a) Simple ornamented iron fencing at the boundary facing Jockey Club Road	Derust, clean, treat with corrosion protector and repair as appropriate.
	

Architectural Feature	Required Treatment
b) Light fittings with granite finished post at the entrance facing Jockey Club Road	All granite shall be cleaned with bristle or nylon brushes and clean water. Corrosive cleaning chemicals must not be used. Light fittings should be repaired and polished to make good finish as necessary.
	

Architectural Feature	Required Treatment
c) Mature Trees	Carry out horticulture survey and do not fell any identified mature trees unless with sound justifications supported by horticultural specialists.
	


Appendix XII

**List of Recommended Treatment to
Architectural Features**


Former Fanling Magistracy
Recommended Treatment to Architectural Features

I. FORMER FANLING MAGISTRAY – MAIN BUILDING

A) External


Architectural Feature	Recommended Treatment
a) Blocked original side entrance on south elevation	Recommend to restore door and passage of the blocked south side entrance. Magistrates’ entrance on north side entrance can be taken as reference.
	

B) Internal

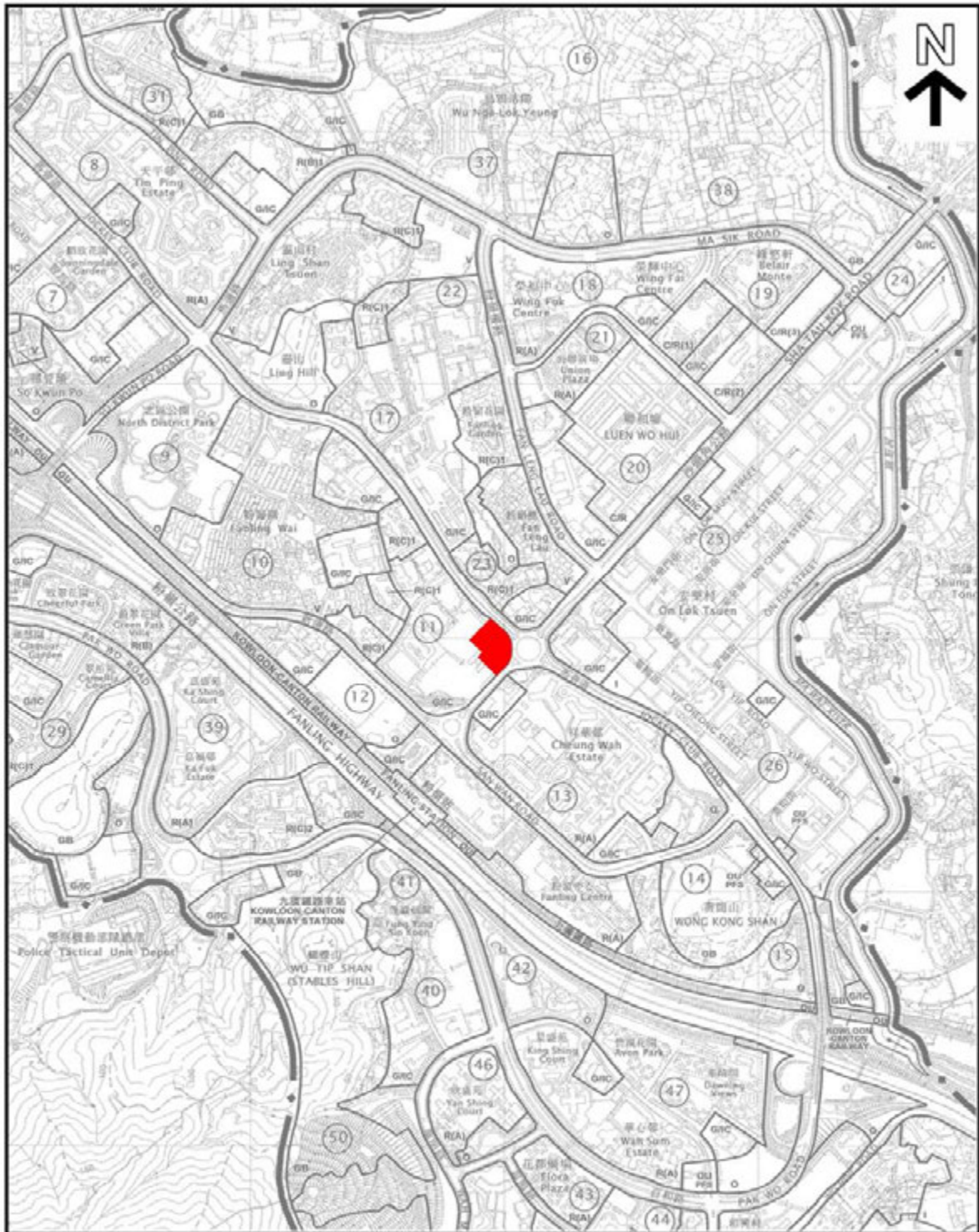
Architectural Feature	Recommended Treatment
a) Cells	Recommended to retain and reuse all the cells (including iron bars and gates, and the internal fittings) as far as possible.
	


Architectural Feature	Recommended Treatment
b) Courts	Recommended to retain and reuse all the courts (including all internal fittings and fixtures) as far as possible.
	

II. ANNEX COURT BUILDING

Architectural Feature	Recommended Treatment
a) Annex Court Building	No special conservation guidelines, but in view of its good condition, reuse of this building is recommended.
	

Appendix XIII
Outline Zoning Plan



<p> THE SITE</p> <p>EXTRACT PLAN PREPARED ON 30.06.11 BASED ON OUTLINE ZONING PLAN No. S/FSS/15 EXHIBITED ON 30.06.11</p>	<p>FORMER FANLING MAGISTRACY 302 JOCKEY CLUB ROAD, FANLING NEW TERRITORIES</p> <p>SCALE 1:10 000</p> <p>METRES 200 0 200 400 METRES</p>	<p>DRAWING NO : APPENDIX XIII OUTLINE ZONING PLAN 1 : 10 000</p>
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MUR/11/529

GOVERNMENT, INSTITUTION OR COMMUNITY

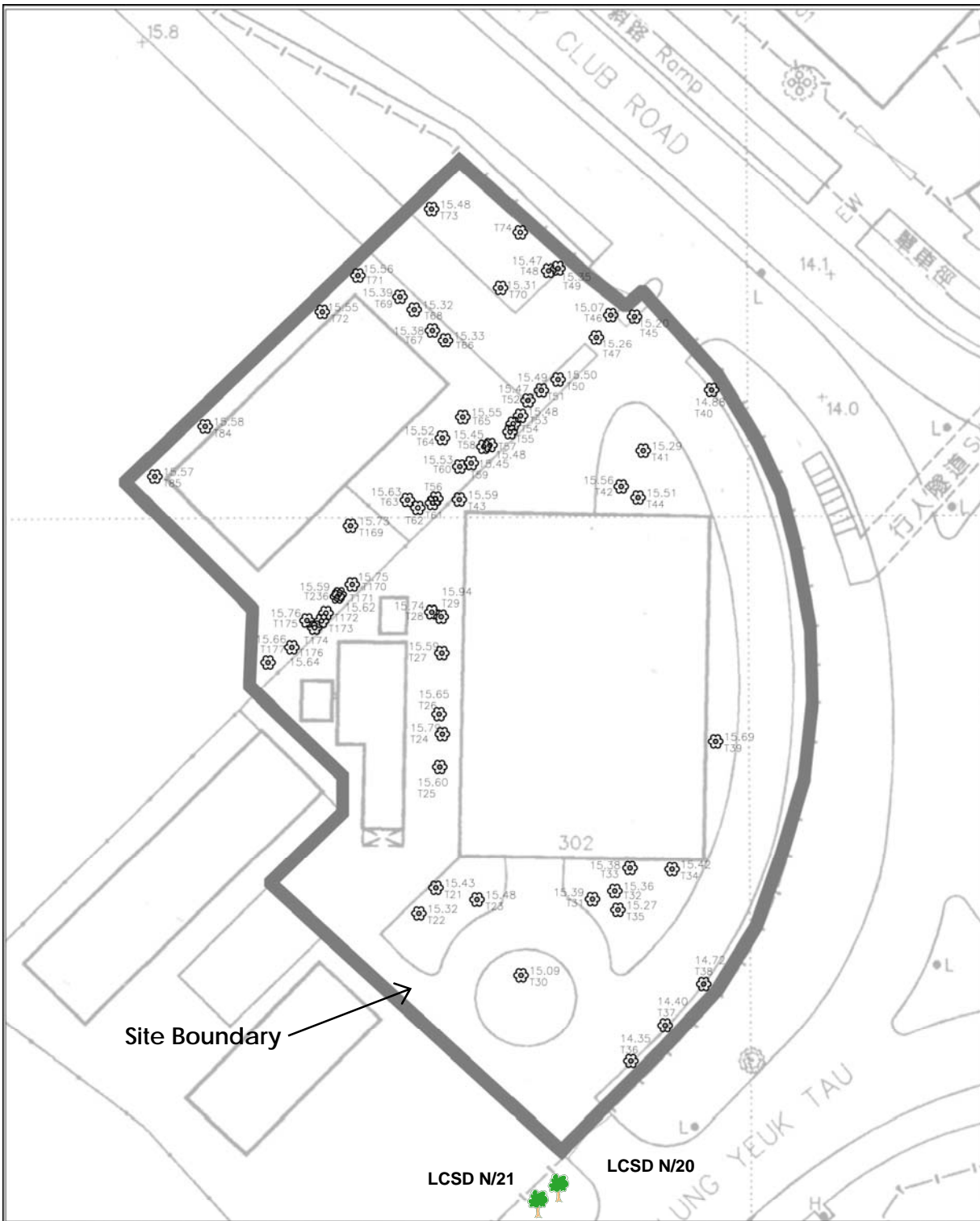
Column 1 Uses always permitted	Column 2 Uses that may be permitted with or without conditions on application to the Town Planning Board
Ambulance Depot Animal Quarantine Centre (in Government building only) Broadcasting, Television and/or Film Studio Eating Place (Canteen, Cooked Food Centre only) Educational Institution Exhibition or Convention Hall Field Study/Education/Visitor Centre Government Refuse Collection Point Government Use (not elsewhere specified) Hospital Institutional Use (not elsewhere specified) Library Market Place of Recreation, Sports or Culture Public Clinic Public Convenience Public Transport Terminus or Station Public Utility Installation Public Vehicle Park (excluding container vehicle) Recyclable Collection Centre Religious Institution Research, Design and Development Centre Rural Committee/Village Office School Service Reservoir Social Welfare Facility Training Centre Wholesale Trade	Animal Boarding Establishment Animal Quarantine Centre (not elsewhere specified) Columbarium Correctional Institution Crematorium Driving School Eating Place (not elsewhere specified) Flat Funeral Facility Helicopter Landing Pad Holiday Camp Hotel House Off-course Betting Centre Office Petrol Filling Station Place of Entertainment Private Club Radar, Telecommunications Electronic Microwave Repeater, Television and/or Radio Transmitter Installation Refuse Disposal Installation (Refuse Transfer Station only) Residential Institution Sewage Treatment/Screening Plant Shop and Services Utility Installation for Private Project Zoo

Planning Intention

This zone is intended primarily for the provision of Government, institution or community facilities serving the needs of the local residents and/or a wider district, region or the territory. It is also intended to provide land for uses directly related to or in support of the work of the Government, organizations providing social services to meet community needs, and other institutional establishments.

Appendix XIV




Location Plan and Assessment Schedule of Trees



Site Boundary

LCSD N/21

LCSD N/20

 THE SITE  T1 TREE NUMBER  OVT DATE: 03/08/2011	FORMER FANLING MAGISTRACY 302 JOCKEY CLUB ROAD FANLING NEW TERRITORIES	DRAWING NO.: <u>APPENDIX XIV</u> TREE LOCATION PLAN N.T.S.
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Tree no.	Botanical Name	Chinese Name	Girth (m)	Height (m)	Spread (m)	Health Condition Good (G) / Medium (M) / Poor (P)	Tree Form Good (G) / Medium (M) / Poor (P)	Amenity Value High (H) / Medium (M) / Low (L)	Survival Rate After Transplanting High (H) / Medium (M) / Low (L)	Remarks
21	Bauhinia variegata	羊蹄甲	1.20	9	7	M	M	M	L	
22	Bauhinia variegata	羊蹄甲	1.50	8	7	M	M	M	L	
23	Acacia confusa	台灣相思	1.80	10	10	M	M	M	L	
24	Michelia alba	白蘭	1.50	11	10	M	M	M	L	
25	Ficus hispida	對葉榕	0.40	4	3	M	M	L	L	
26	Caryota ochlandra	魚尾葵	0.35	6	1	P	P	L	L	
27	Dimocarpus langan	龍眼	0.60	4	4	M	M	L	L	
28	Caryota ochlandra	魚尾葵	0.30	6	1	P	P	L	L	
29	Michelia alba	白蘭	1.80	11	6	M	M	M	L	
30	Ficus microcarpa	細葉榕	0.30	3	3	M	M	M	M	
31	Delonix regia	鳳凰木	1.20	8	12	G	G	H	L	
32	Ficus virens var. subanceolata	大葉榕	1.00	8	7	M	M	M	M	
33	Archontophoenix alexandrae	假檳榔	0.40	5	1	M	M	M	M	
34	Archontophoenix alexandrae	假檳榔	0.50	6	1	M	M	M	M	
35	Dimocarpus langan	龍眼	0.35	3	2	M	M	L	L	
36	Macaranga tanarius	血桐	0.45	3	4	M	M	L	L	
37	Delonix regia	鳳凰木	1.50	5	6	G	G	H	L	
38	Ficus microcarpa	細葉榕	0.45	4	3	M	M	M	M	
39	Araucaria cunninghamii	肯氏南洋杉	1.40	12	6	M	M	M	L	
40	Bauhinia variegata	羊蹄甲	0.90	8	5	M	M	M	L	
41	Lagerstroemia indica	大葉紫薇	0.45	5	3	M	M	M	M	
42	Macaranga tanarius	血桐	0.90	9	7	M	M	M	L	
43	Litchi chinensis	荔枝	0.45	6	3	M	M	M	L	
44	Dimocarpus langan	龍眼	0.30	3	1	M	M	M	L	
45	Acacia confusa	台灣相思	0.90	9	6	M	M	M	L	
46	Eucalyptus robuster	大葉桉	0.85	8	1	M	M	M	L	
47	Acacia confusa	台灣相思	1.50	9	9	M	M	M	L	
48	Bauhinia variegata	羊蹄甲	0.35	5	4	M	M	M	L	
49	Acacia confusa	台灣相思	1.80	9	9	M	M	M	L	
50	Acacia confusa	台灣相思	1.00	9	5	M	M	M	L	
51	Acacia confusa	台灣相思	0.70	9	5	M	M	M	L	

APPENDIX XIV : Assessment Schedule of Trees within Site Boundary (Page 1)

Tree no.	Botanical Name	Chinese Name	Girth (m)	Height (m)	Spread (m)	Health Condition Good (G) / Medium (M) / Poor (P)	Tree Form Good (G) / Medium (M) / Poor (P)	Amenity Value High (H) / Medium (M) / Low (L)	Survival Rate After Transplanting High (H) / Medium (M) / Low (L)	Remarks
52	Eucalyptus citriodora	檸檬桉	1.20	9	5	M	M	M	L	
53	Acacia confusa	台灣相思	0.40	3	2	P	P	L	L	
54	Acacia confusa	台灣相思	0.85	5	4	P	P	L	L	
55	Acacia confusa	台灣相思	0.80	9	8	M	M	M	L	
56	Acacia confusa	台灣相思	0.95	12	9	P	P	L	L	
57	Acacia confusa	台灣相思	0.90	9	7	M	M	M	L	
58	Koelreuteria formosana	台灣欒樹	0.70	9	5	M	M	M	L	
59	Acacia confusa	台灣相思	0.90	8	5	M	M	M	L	
60	Eucalyptus citriodora	檸檬桉	1.50	10	5	M	M	M	L	
61	Acacia confusa	台灣相思	1.30	12	9	M	M	M	L	
62	Eucalyptus citriodora	檸檬桉	1.50	11	6	M	M	M	L	
63	Microcos paniculata	布渣葉	0.40	4	3	M	M	M	L	
64	Acacia confusa	台灣相思	0.90	8	6	M	M	M	L	
65	Acacia confusa	台灣相思	1.50	10	7	M	M	M	L	
66	Acacia confusa	台灣相思	1.20	9	5	M	M	M	L	
67	Acacia confusa	台灣相思	1.20	9	10	M	M	M	L	
68	Acacia confusa	台灣相思	0.70	9	6	P	P	L	L	
69	Acacia confusa	台灣相思	1.80	10	12	M	M	M	L	
70	Syzygium jambos	蒲桃	0.90	5	5	M	M	M	L	
71	Bauhinia variegata	羊蹄甲	1.00	9	7	M	M	M	L	
72	Delonix regia	鳳凰木	1.00	9	7	M	M	M	L	
73	Eucalyptus citriodora	大葉桉	1.50	10	8	G	G	M	L	
74	Celtis sinensis	朴樹	0.30	6	4	M	M	M	L	
84	Acacia confusa	台灣相思	0.80	8	3	-	-	-	-	Dead/Vined
85	Acacia confusa	台灣相思	1.00	8	7	M	M	M	L	
169	Delonix regia	鳳凰木	1.00	10	11	M	M	M	L	
170	Acacia confusa	台灣相思	1.20	10	7	M	M	M	L	
171	Acacia confusa	台灣相思	0.63	9	8	P	P	L	L	
172	Acacia confusa	台灣相思	1.05	8	5	M	M	M	L	
173	Acacia confusa	台灣相思	0.80	5	4	P	P	L	L	
174	Acacia confusa	台灣相思	1.00	9	6	M	M	M	L	
175	Koelreuteria formosana	台灣欒樹	1.30	10	6	M	M	H	L	
176	Acacia confusa	台灣相思	1.50	11	11	M	M	M	L	
177	Delonix regia	鳳凰木	0.80	10	7	M	M	M	L	
236	Acacia confusa	台灣相思	0.80	5	5	P	P	L	L	

APPENDIX XIV : Assessment Schedule of Trees within Site Boundary (Page 2)