FINAL
REPORT

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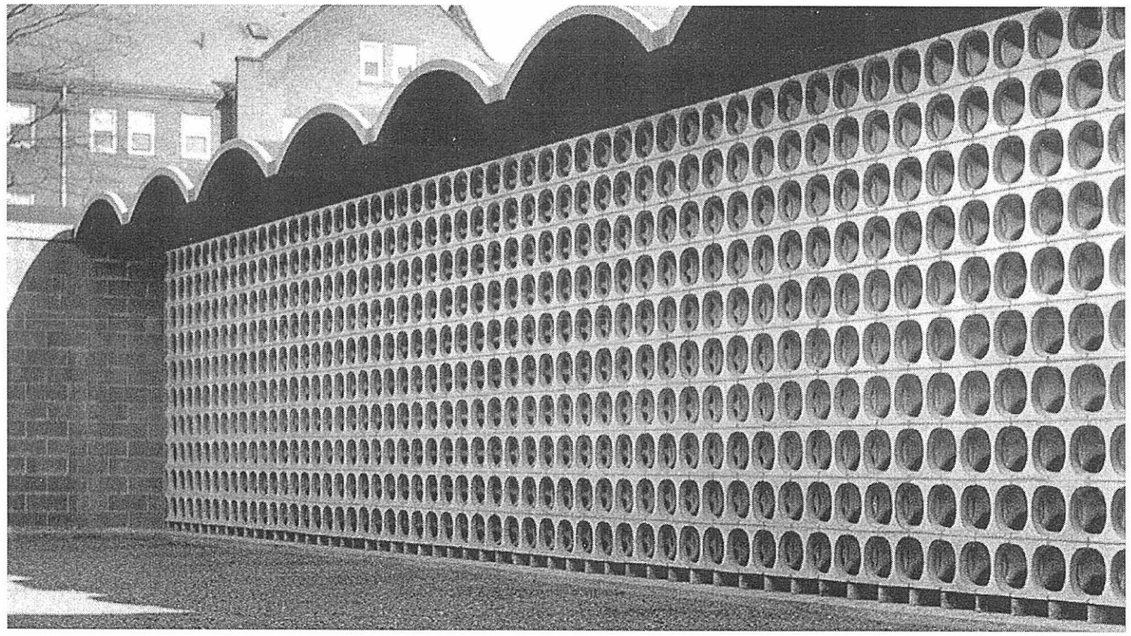

Vassar College

Getty Foundation Campus Heritage Grant

Historic Preservation Design Manual

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June 15, 2007

Acknowledgements

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Platt Byard Dovell White Architects

June 15, 2007

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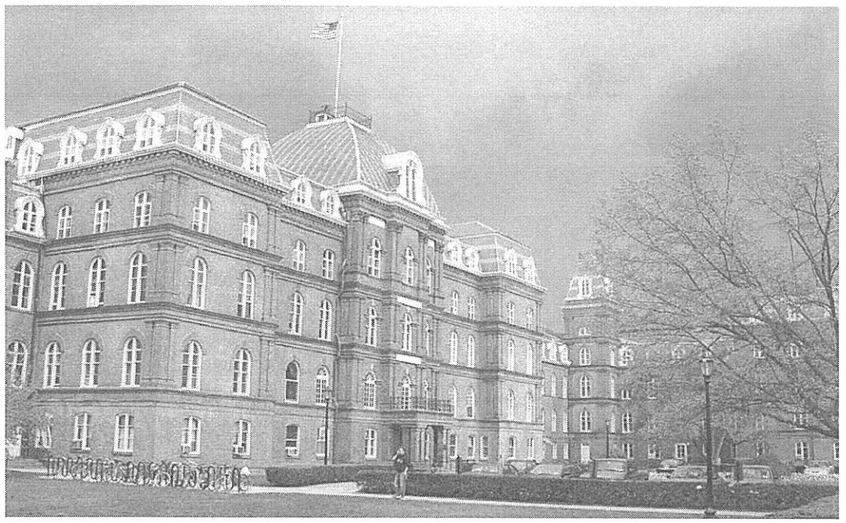
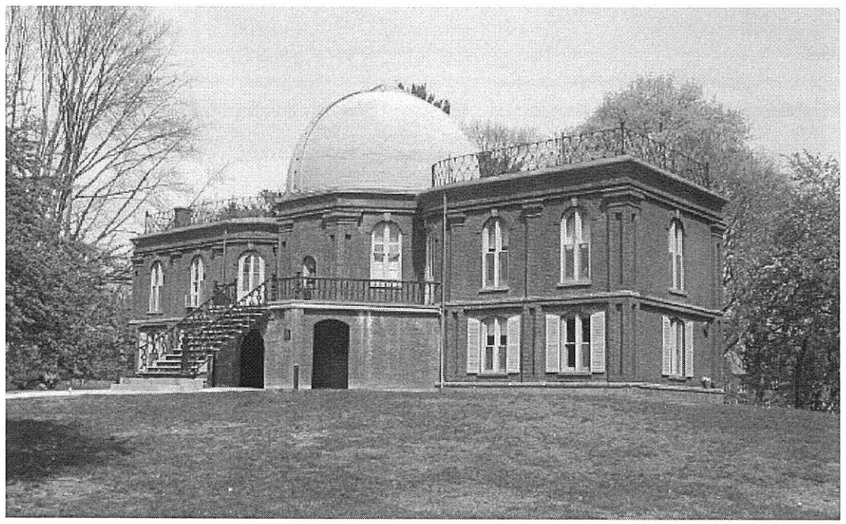


View of Main Building, Vassar's first structure, looking northeast



View of Maria Mitchell Observatory

Vassar College

Getty Foundation Campus Heritage Grant

Historic Preservation Design Manual

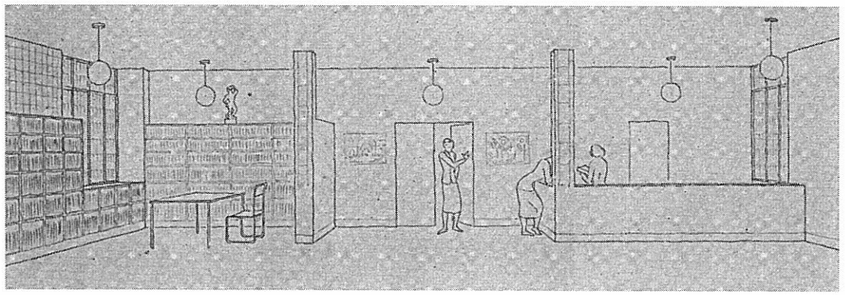
Introduction
This Design Manual

This Design Manual has been prepared with the support of Vassar's Getty Foundation Campus Heritage Grant to help guide the on-going maintenance of the College's extraordinary inventory of campus architecture. Its general purpose is historic preservation, to help protect what we learn from these interesting old buildings. Its focus is on design, the way any work on the old buildings should be directed so that its outcome keeps available and celebrates their meaning. Its emphasis is on the direction of work on a very rare special condition in Vassar's inventory, its three exceptional works of Modern architecture. Modern works of this kind and quality are only just now – and only just in time! - beginning to be appreciated for the contributions they can make to the purposes of historic preservation, the lessons they can offer us to help us live as we should today. By its emphasis on Vassar's major Modern works, this Manual seeks not just to protect and enrich Vassar's Campus Heritage but also to broaden and deepen its service to us all.

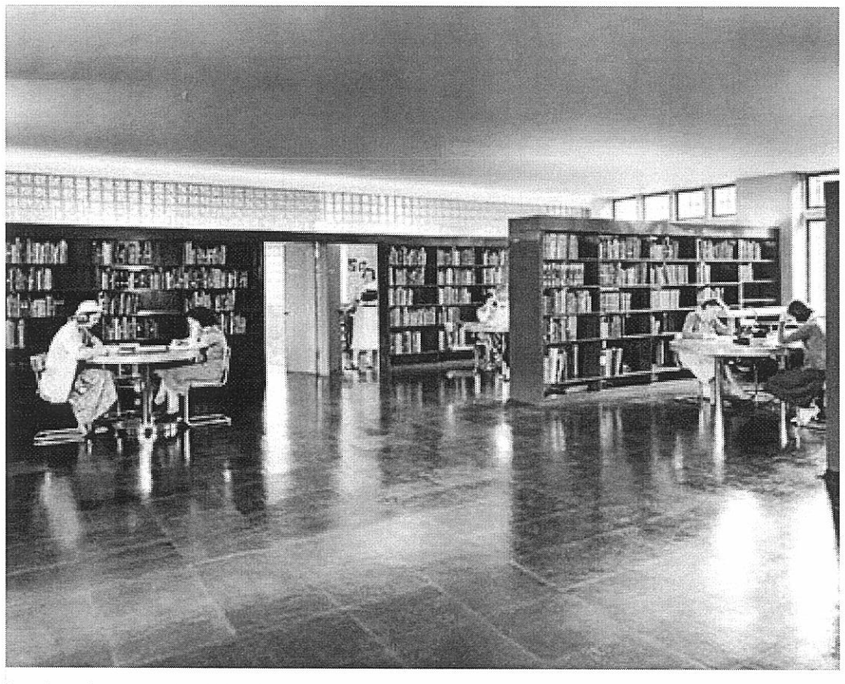
Vassar's Inventory of Architecture

Vassar's inventory of architecture is founded on two mid-19th century works of architecture – Main and the Maria Mitchell Observatory – that accurately represent the originality and direction of the College at its inception. While anchoring and elevating the enterprise with its stylistic references to the power and splendor of Tuileries Palace in Paris, Main is most interesting as the physical correlative of the College's pioneering attitude to women's education: the way they should live together and apart, the space in which they should be gathered; and the variety of activities their environment should protect, make possible and organize. The Observatory is a small, confident and nevertheless startling correlative for an insight, that women should take a new place in the "heavens", as keen observers and hard scientists.

Both buildings are innovators in their architectural form: new forms for new functions. Each of them enriches the message of its form with adaptations of conventional decoration of the 19th century, using it to make associations intended to explain and impress like Main's association with the Tuileries. As later buildings are gradually added to the campus, they likewise add forms for expanding functions and decorate them with adaptations of conventions that tie them to ideas of the time that College builders want to endorse and absorb – associations that generally emphasize establishment and authority – here we are and here we stay. In the early part of the 20th century, though, the forms begin to stretch, notably at Jewett where the idea of accommodating a major water tower in a dormitory distorts the conventions into an expression that would be comic if it weren't so instructive: something has to give!



Interior elevation sketch of entrance and reception area at Van Ingen Library,



Interior photograph of Van Ingen Library. Vassar's first example of Modern architecture.

That something had to give – and more precisely that convention had to yield to new forms of expression to accommodate needs we simply couldn't any longer deny – was the fundamental lesson of 20th century architecture and the gift of its great innovation, Modernism. The cataclysm of the First World War – the catastrophic outcome of conventional Imperial righteousness - affected Europe more than it affected the United States. It wasn't until the Depression brought home even to us the need for change that our architecture began to change as well. Adumbrations of it can be seen in the modest innovations of the Infirmary. The probe of abstraction – the great tool of Modernism – was beginning to yield new ways of doing things.

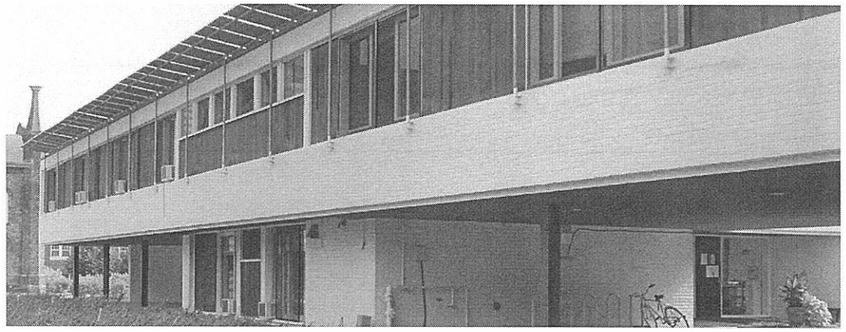
When the need for change came home to Vassar, it was in the startling form of Breuer's Ferry Cooperative House, a form so startling that Vassar changed its mind about its site and put it somewhere where it might be a little less disturbing. The form had lost a lot of its social and political baggage by the time it got to the United States. Even as a "cooperative", the house was basically a-political, an Emersonian 19th century way for its worthy residents to save money not a reflection of the ambitions of European Socialism. It came as Modernism established itself in the United States after World War II and became under the influence of Vassar's great and adventurous patron, the extended Rockefeller family, the adventurous but right thing to do as a matter of artistic expression.

And yet it was startling and, as importantly, it was beautiful. It made the case for itself in an utterly simple Bauhaus composition of Froebel blocs adorned only to the extent absolutely necessary to make its point as work of art: look! this is the way to think about where all are today. It established itself as it still is today, as a proposition about its times but, as or more importantly, as a point of revealing difference that shows off how far we have come and how much we still have to do. It offered itself – if we chose to take it that way – as a challenge.

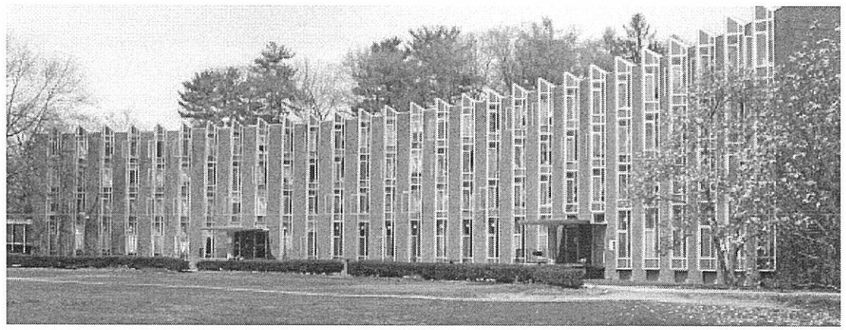
Ferry was followed by two comparable challenges. Eero Saarinen's Noyes followed its architect's almost literal minded approach to form making – the dormitory simply a rectangle that (logically!) wrinkles on the inside when you bend it to fit the curve of the Circle. When you do the least you need to get a double-loaded block of rooms on this site, you still get a logical pattern of rich interest that can be made clearly an academic dormitory if you clad it in a slightly craft-y burnt Harvard brick. In its simplicity and effectiveness of its abstraction, the logic of it made its decorated neighbors – including very late works of McKim Mead & White – look fussy, wasteful and dull.

Possibly the greatest challenge, though, is Schweikher's Chicago Hall, a difficult, provocative essay that reflects virtually every preoccupation of Modernism, from the slight lift of the little acropolis of its ground plane enshrining the clean slate of the Modernists' effort to start everything again differently – to the quick rhythm of its thin shell roof, a potentially infinite, endless cover for a universal space. In between is a fascinating study of pattern in plan and elevation – in the arrangement of classrooms and in Hauer's screens – looking for a logic that will both bind it together and suggest a potential for growth – a reference to a future. Within the essay are its almost literary references to other revered Modern sources, like the auditorium of Alvar Aalto's Viipuri library, and a startling pre-figuration of one of the 20th century's masterworks, the Kimbell Museum of Schweikher's successor at Yale, Louis Kahn.

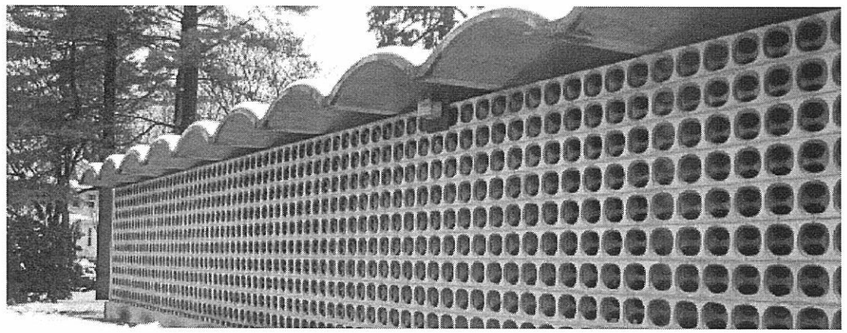
These three building set an astonishingly high standard for architectural propositions about their times, times that were relatively steady and prosperous and full of promise even on the difficult social issues Modernism hoped to engage, a co-existence in the United States of the secure and the adventurous. The period had about ten years to go. What followed the upheavals of the late 60's and '70s that ended the dominance of Modernism can be read in ….



Exterior photograph of Dexter M. Ferry House



Exterior photograph of Emma Noyes House



Exterior photograph of Chicago Hall

Vassar's Inventory and Historic Preservation Today

Vassar's exceptional examples of Modernism make its inventory of old architecture both challenging and valuable for historic preservation in our times. In the post-Modern period, the literal "conservatism" of historic preservation has fit easily with political conservatism and with a body of endangered old architecture that was largely decorated and pre-Modern. These decorated buildings at first needed champions, for example in the heyday of urban renewal. Saving them made all sorts of sense, not the least to avoid an unacceptable psychological, environmental and economic waste. Then as conservatism consolidated its hold, the will to save them beyond waste came to embody other dominant values, including a will to deny change and to pursue instead a dream that things could never be better than the way they once were, that what we needed today was William McKinley once again.

Then the general spirit changed again and we began to acknowledge a need for new ideas. The change is coming just as the major works of Modernism have become old enough – and needy enough – to deserve the attention of historic preservation. Modernism comes into the ambit of historic preservation in an important sense just when we need it. Do we have examples of new approaches to old problems, examples that do not necessarily offer solutions but show us with our minds engaged in processes of fresh thinking? As inspirations and as cautions, can Modern works be especially helpful to us now?

Vassar's Modern works likewise come to our attention just when we need them ….

The Purposes of this Manual

This Manual is intended to help the process of historic preservation on the Vassar campus by focusing not so much on specific physical conditions that need attention as on the architectural meaning that should guide their care. Historic preservation exists to protect architecture so that we can continue to learn from it. Its subject matter is much less physical fabric than it is the significance of physical fabric, the combination of meaning and importance conveyed by expressive fabric that justifies the application of resources to protect it. Old buildings are not sacred for their age or any magic qualities of their decoration. They are architecture made to serve us by what they do and what they say. They have to stand up for themselves. Historic preservation exists to help them do so by arguing for and protecting the benefits of what they offer as works of art, the meanings that help us live as we should. Historic preservation is the handmaiden - or hench-person - of their architecture.

This Manual accordingly offers a general survey of the physical conditions of Vassar's inventory of architecture, with a focus on the meaning of its principal exemplars, to help understand why they should be preserved – for their meaning- and what efforts towards their preservation need to work to save. In the case of the major Modern buildings, its object is to bring out the meanings behind their challenges so that they can be protected for their special worth. The Manual is not intended as a guarantee of any building's survival, but rather as a guide to the contributions that argue for its survival and ideally cause us to stop and think. In the case of the Modern buildings, what it hopes to show is that the very different Modern argument is strongand particularly useful today!

List of Buildings

List of Buildings

			CVM Assessment		Importance			Current Condition		
Bldg No.	Building Name	Date	Limited	Detailed	Minor	Medium	Major	Good	Fair	Poor
1	**Main Building** *Arch: James Renwick Jr.* *Renov. Arch: James Post/ Cesar Pelli*	**1865** *1872/ 1996*		Roof system			X	Localized Roofing	X	
2	**Maria Mitchell Observatory** *Arch: Charles S. Farrar*	**1864-65** *1895 Addition*		Terrace			X	Masonry	X	
3	**Avery Hall BECAME #54 Center for Drama & Film** *Arch: J. A. Wood*	**1866**				X				
4	**Ely Hall** *Arch: William Tubby/ William Downing* *Renov. Arch: Olson Lewis Arch.*	**1889/1906** 1994				X			X	X
5	**Thompson Annex to Main Building** *Arch: Francis R. Allen* *Renov. Arch: Allen & Collens/ McAndrew/ Goldstone & Dearborn*	**1893** *1918/ 1937/ 1959*	Expunged in 1959			X				
6	**Strong House** *Arch: Francis R. Allen*	**1893**	Window	Roof, chimney and masonry			X	Chimneys, Staircases	X	
7	**President's House** *Arch: Rossiter & Wright*	**1895**		Stone, brick, tile and masonry			X	Windows	X	X
8	**Raymond House** *Arch: Francis R. Allen*	**1897**	Window	Roof, chimney and masonry		X			X	
9	**Rockefeller Hall** *Arch: York & Sawyer*	**1897** *1916, 1940*		Roof, terracotta, window and masonry			X		X	X
10	**Swift Hall** *Arch: York & Sawyer*	**1900** *1941 Remodel*		Roof, stone, brick masonry and window		X		Roofing	X	
11	**Lathrop House** *Arch: Allen & Vance*	**1901**	Window	Roof, chimney and masonry	X				X	Localized Masonry
12	**New England Building** *Arch: York & Sawyer* *Reno. Arch: Liscum McCromack VanVoorhis*	**1901** *1919 Addition* *2001*		Roof system			X	X		Localized Roofing
13	**Davison House** *Arch: Allen & Vance*	**1902**	Window	Roof, chimney and masonry		X			X	Roofing
14	**Vassar Chapel** *Arch: Shepley Rutan & Coolidge*	**1904**		Roof, window, tile, stone and interior plaster			X	Localized Windows, Roofing	X	
15	**Federick F. Thompson Memorial Library** *Arch: Allen & Collens* *Renov. Arch: Hardy Holzman Pfeiffer Assoc.*	**1905/1918** *2001*		Roof system			X	Masonry	X	Localized Roofing
16	**Jewett House** *Arch: Pilcher & Tachau* *Renov. Arch: Herbert S. Newman*	**1907** *2003*		Roof, terracotta, window and masonry			X	X		
17	**Carol & James Kautz Admission House** *Arch: Pilcher & Tachau* *Renov. Arch: Linda Yowell*	**1908** *1995*				X		X		
18	**Sanders Classroom Building** *Arch: Ewing & Chappelle* *Renov. Arch: Hutchins, Evans & Lefferts Arch.*	**1909** *1988-89*				X		X		
19	**Olivia P. Josselyn House** *Arch: Allen & Collens*	**1912**		Roof system		X			X	X
20	**Students' Building** **(All Campus Dining Center)** *Arch: McKim, Mead & White* *Renov. Arch: Walker O. Cain/ Finegold Alexander*	**1913** *1973/ 2003*		Roof system	X			Windows	X	Roofing, Localized Masonry

List of Buildings

Bldg. No.	Building Name	Date	CVM Assessment		Importance			Current Condition		
			Limited	Detailed	Minor	Medium	Major	Good	Fair	Poor
21	**Taylor Hall** *Arch: Allen & Collens*	**1915**				X				
22	**Metcalf House** *Arch: York & Sawyer*	**1915**			X			X		
23	**Pratt House** *Arch: York & Sawyer*	**1916**			X			Masonry	X	
24	**Boiler House** *Arch: Frank Sutton*	**1917**			X			X		Windows
25	**Williams House** *Arch: Hunt & Hunt*	**1924**				X			X	
26	**Alumnae House** *Arch: Hunt & Hunt* *Renov. Arch: Linda Yowell*	**1924** *1999*	Timber & window	Chimney, roof, original and simulated stucco		X		Localized Masonry, Windows	X	X
27	**Sanders Physics Building** *Arch: Ewing and Allen*	**1926**				X		X		Roofing
28	**Cushing House** *Arch: Allen & Collens*	**1927**		Window and wall systems		X		X	Roofing	Localized Roofing
29	**Kendrick House** *Arch: York & Sawyer*	**1927**		Roof system		X			X	Localized Roofing, Windows
30	**Mildred R. Wimpfheimer Nursery School** *Arch: Allen & Collens*	**1927**		Roof system			X	X		Localized Roofing
31	**Blodgett Hall** *Arch: York & Sawyer* *Renov. Arch: Cannon Assoc.*	**1928** *1998*		Roof and interior ceiling tiles		X		X		
32	**Skinner Hall of Music** *Arch: Charles Collens*	**1932**	Stone & masonry.	Roof, stained and leaded glass windows			X	Localized Roofing, Windows	X	Staircases
33	**Kenyon Hall** *Arch: Allen & Collens-Renov.* *Renov. Arch: Gluckman Mayner Arch.*	**1933** 2002		Wall system		X		X		
34	**Van Ingen Hall** *Arch: Allen, Collens & Willis* *Renov. Arch: Shepley & Bulfinch*	**1937** *1963*		Roof, stone, brick masonry and window			X		X	X
34A	**Van Ingen Art Library** *Arch: Theodore Muller John McAndrew*	**1937**					X			See drawings
35	**Baldwin Infirmary** *Arch: Faulkner & Kingsbury*	**1940**					X			Windows
36	**Dexter M. Ferry Cooperative House** *Arch: Marcel Breuer* *Renov. Arch: Herbert Beckhard Frank Richlan*	**1951** *2001-02*					X	X		
37	**Emma Hartman Noyes House** *Arch: Eero Saarinen & Associates* *Parlor Restoration: Leonard Parker Assoc.*	**1958** *2000*					X			Curtain Wall, Concrete
38	**Chicago Hall** *Arch: Schweikher & Elting*	**1959**					X			Roofing, Concrete
39	**Olmsted Hall** *Arch: Sherwood, Mills & Smith*	**1972**				X			X	
40	**Powerhouse Theater** *Arch: Lord & Co.* *Renov. Arch: Robertson Wood Jr.*	**1912** *1973*		Wall system	X				X	

List of Buildings

			CVM Assessment		Importance			Current Condition		
Bldg. No.	Building Name	Date	Limited	Detailed	Minor	Medium	Major	Good	Fair	Poor
41	**College Center Addition to Main Building** *Arch: Carlhian, Shepley Bulfinch Richardson & Abbott* *Add. & Renov. Arch: Sloan Arch.*	**1974-75** *2001*				X			X	
42	**Helen Lockwood Addition to Memorial Library** *Arch: Hellmuth, Obata & Kassabaum*	**1977**			X					
43	**Walker Field House** *Arch: Daniel F. Tullly Assoc.* *Renovation Arch: Cannon Assoc.*	**1982** *2000*		Roof system	X					
44	**Seeley G. Mudd Chemistry Building** *Arch: Perry Dean Rogers & Partners*	**1984**		Roof, glass block, masonry and window			X			
45	**ALANA Center (former General Service Building)** *Arch: Vassar College* *Renov. Arch: Jeh Johnson*	**1925** *1993*				X				
46	**Computer Center (Old Service Building)** *Arch: Vassar College* *Renov. Arch: Roth & Moore Arch.*	**1925** *1994*			X			Windows		X
47	**Computer Science Dept. & Dev. Offices (Old Laundry Building)** *Arch: James Post* *Renov. Arch: Vassar/Vassar/Vassar/Roth & Moore Arch.*	**1872** *1901/1909/1966/1994*		Roof system		X		Localized Masonry	X	Localized Roofing
48	**Doubleday Studio Art Building (Old Trade Workshops)** *Arch: Vassar College* *Renov. Arch: Roth & Moore Arch.*	**1925** *1994*			X			Windows	X	
49	**Susan Stein Shiva Theater (Old Coal Bin)** *Arch: Vassar College* *Renov. Arch: Jeh Johnson*	**1925** *1994*				X			X	
50	**Frances Lehman Loeb Art Center** *Arch: Cesar Pelli & Ass.*	**1994**	Window	Roof, stone and brick masonry		X		X		Localized Roofing
51	**Class of 1951 Observatory** *Arch: Roth & Moore Arch.*	**1997**			X			X		
52	**Athletics and Fitness Center** *Arch: Cannon Assoc.*	**2000**			X			X		
53	**Ingram Library Addition** *Arch: Hardy Holzman Pfeiffer Assoc.*	**2001**				X		X		
54	**Vogelstein Center for Drama and Film** *Arch: Cesar Pelli & Assoc.*	**2003**	Incorporated Avery #3	Interior wood floor renovation			X	X		
55	**Buildings and Grounds** *Arch: Einhorn, Yaffee, and Prescott*	**1991**			X			X		

Pre-Modern Buildings

1-Main Building
2-Maria Mitchell Observatory
3-Avery Hall
4-Ely Hall
5-Thomson Annex to Main Building
6-Strong House
7-President's House
8-Raymond House
9-Rockefeller Hall
10-Swift Hall
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18-Sanders Class Building
19-Olivia P. Josselyn House
20-Students' Building (All Campus Dining Center)
21-Taylor Hall
22-Metcalf House
23-Pratt House
24-Boiler House
25-Williams House
26-Alumnae House
27-Sanders Physics Building
28-Cushing House
29-Kendrick House
30-Mildred R. Wimpfheimer Nursery School
31-Blodgett Hall
32-Skinner Hall of Music
33-Kenyon Hall

Pre-Modern Buildings

Introduction

The first major tranche of Vassar's inventory of architecture dates from the first 70 years of its history, a period in which architecture continued to work within a limited evolving cannon of potential expressive conventions. Like representational painting, architecture in those years generally offered a limited range of expressive choices. In representational buildings, meaning varied within the limited range with the handling of then-current meanings of the "style" chosen as their expression. Thus "Gothic" buildings were sometimes offered as Romantic, sometimes as super-authentic and old or sometimes simply as mightily academic and correct – as for example in the collegiate Gothic of the 1920's in buildings like the Van Ingen Library. In all the variations of their meaning, the expressive elements that identified their "style" – the pointed arch, the leaded window – remained present . The limited expressive range in general matched a limited range of expectations of what buildings should generally look like and a limited range of contemporary tectonic possibilities for making buildings. Representational architecture, like representational painting, could be innovative. It could be exciting and controversial to then-contemporary viewers. It generally was so, though, within what seems to us a limited expressive range.

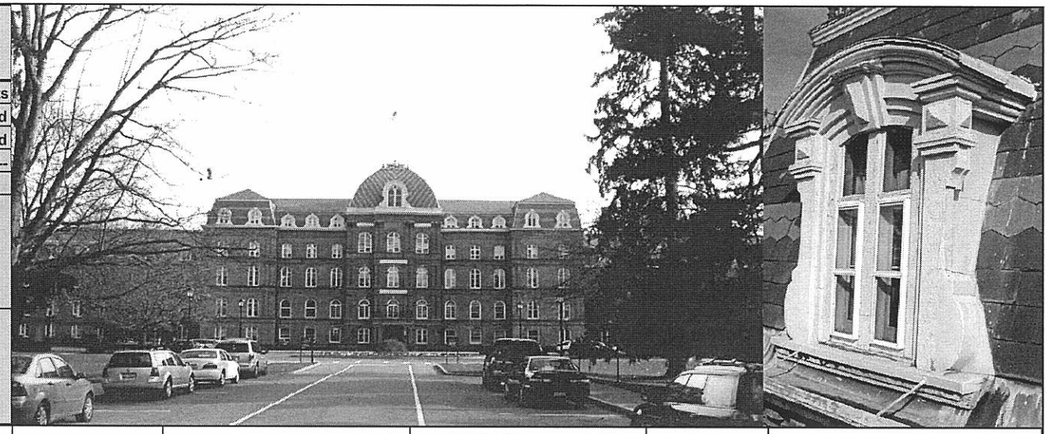
The break that illustrates the limit of the range came in the 20th century with the embrace in all the arts of the possibilities of abstraction. Like painting and music, architecture made itself free to go beyond "representational" decorative conventions in search of new arguments for what it was trying to do. The tool of abstraction helped it cut away convention – the polemic of "ornament is crime" – and find underneath something elemental that was closer to the truth – for example, the underlying form and what it expressed when exposed for itself, the ethical claim that form should follow function. The break came for Vassar after the first 34 buildings it built, with the Van Ingen Art Library.

From the point of view of historic preservation, the break was important not so much because it marked a theoretical change in what one should or should not do to preserve things but because it changed the expressive assumptions about many building elements. It remained fundamental to protect the form and detail of elements essential to convey meaning, while it became easier to suggest replacement of the assemblies that made up the form. Thus arguments about authenticity and "original material" in old masonry buildings - the odor of sacredness that comes to pervade old fabric – carried less weight when applied to early Modern curtain walls. Innovative assemblies like the curtain wall of Lever House were devised to work and could be corrected when they didn't. The problem didn't go away: the object still was to keep as much as possible of the real thing communicating exactly what it was valued for. But where the old thing was new, innovative and not working, it was easier to argue that it should be replaced with a system that actually did work, that is, did what it was supposed to do and said what it was supposed to say.

Vassar's record with its representational buildings has been good. It has generally kept the detail that is essential to keeping "style" buildings communicating at their intended level of intensity. It has accepted substitutes like fiberglass in decorative moldings and castings, where the loss of authenticity is small and the gain in expressive effect considerable. Some approximations of detail have been approximate at best and some substitutions imperfect. In maintaining its representational buildings, it should resist the temptation to simplify. Detail counts!

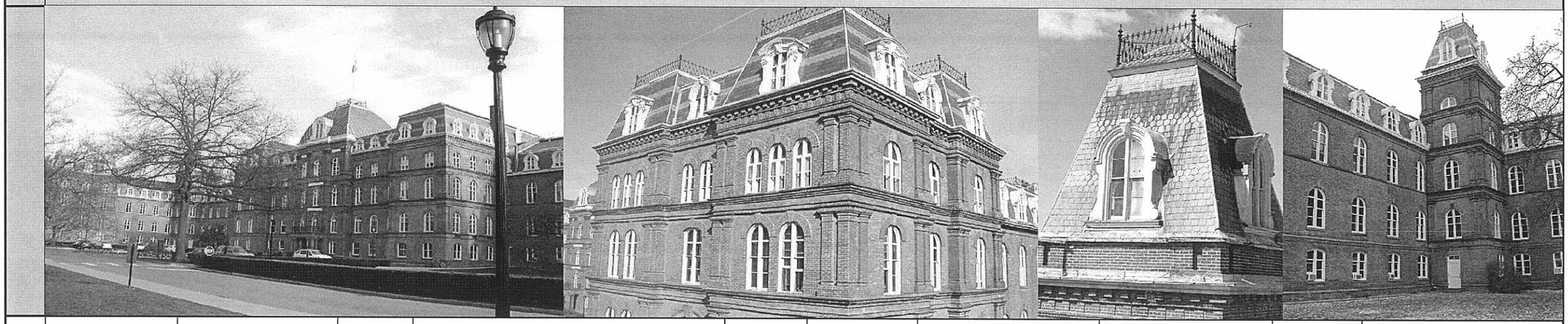
1 Main House 1865

Architect	James Renwick, Jr.	Reference Documents	
Renovation Dates	1872, 1893, 1918, 1959	Architectural Drawings	Limited
Use	Administrative, Academic, Residence	Structural Drawings	Limited
Number of Floors	4-5 above, 1 below	Civil Drawings	---
Significance			
Architectural Characteristics			



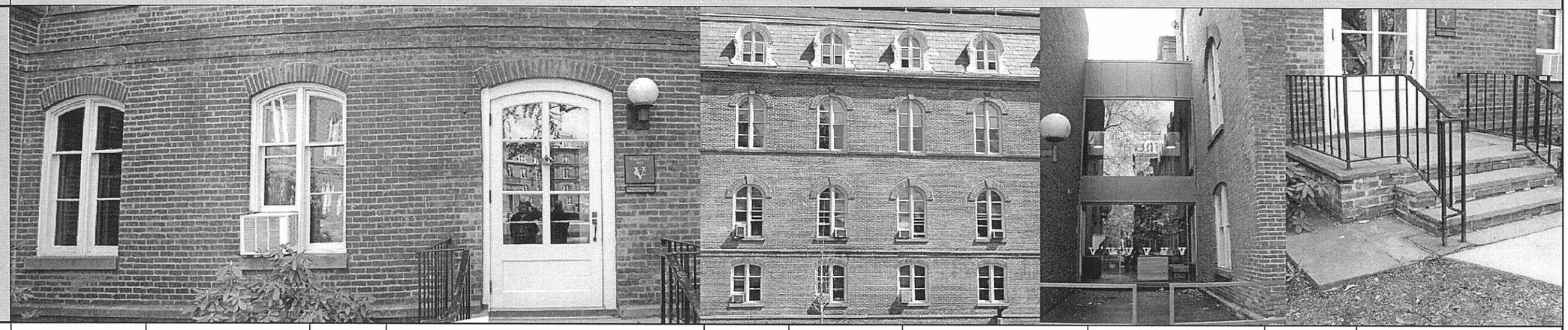
Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	Roof Construction														Roof Construction
1a	Pitched	Purple and unfading green slate mansard.	Poor	North and South Towers.	1865	1990	Weathertight, aesthetically pleasing.	Limited review, 2004.	Implement restoration program to replace roof systems.	X				125+	South tower has had new slate installed approx. 20 yrs ago, but several deficiencies require intervention.
		Purple and fading green slate mansard	Good	All remaining mansards other than north and south towers.	1990	2115	Weathertight, aesthetically pleasing.	Limited review, 2004.	No recommended action, except for implementation of periodic maintenance program to replace cracked or broken slates.					125+	Unfading green, rather than fading green, was the originally intended slate color.
		Purple slate roof areas	Excellent	Central wing, west elevation, immediately adjacent to central dome.	2006	2131	Weathertight, aesthetically pleasing.	Full replacement, 2006.						125+	New slate: North Country Unfading Purple (Hues of Heather), quarried in Newfoundland, Canada; and Vermont unfading green. Supplier: North Country Slate, Toronto, Canada.
			Good-fair	Central wing, including two minor east-west hipped roofs.	1990	2115	Weathertight, aesthetically pleasing.	Limited review, 2004.						125+	
		Purple and unfading green dome (rounded hip)	Good-Fair	Central , west elevation dome.	1990	2115	Weathertight, aesthetically pleasing.	Limited review, 2004.						125+	
		Black asphalt shingles	Excellent	East elevation central roof area.	2006	2056	Weathertight.	Full replacement with copper flashings, 2006.						50	
		Standing seam copper	Poor	Eave flashing of north, central, and south wings, and valleys of north & south towers.	1980	2010	Weathertight, Structurally Sound	Limited review, 2004.	Replace with new copper standing seam system.	X	X			50	Valleys of north and south towers scheduled for 2007; eave flashing of north, central, and south wings for 2008-10.

1 Main House



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1b	Low Slope	Built-up roof	Poor	Localized areas atop tower ends of north and south wings.	1980	2005	Weathertight	Limited review, 2004.	Replace with new built-up roof or other long-durability system.		X			30	
		Flat seam copper	Good	Dormer cap flashing in central section (either side of central dome), and perimeter of east elevation asphalt shingle gabled area.	2006	2066	Weathertight	Full replacement, 2006.	No recommended action.					60	Copper selected as replacement because of long-term durability and reduced maintenance relative to terne.
			Fair-Poor	Numerous gussets	1960	2010	Weathertight, draining.	Limited review, 2004.	Replace when roof replacement programs implemented.	X	X			50	
		Flat seam, painted tin/lead-coated steel (terne).	Fair-Poor	North and south tower window flashings, and all dormer flashings not replaced in 2006.	1865	Unlimited with maintenance.	Weathertight, draining.	Limited review, 2004.	Replace with flat-seam copper flashings to reduce maintenance.			X		60	
		Adhered EPDM	Good-Fair	Covering east wing, and surrounded by brick masonry parapet.	1990	2010	Weathertight, draining.	None	No recommended action.					30	Review and repair breaches as maintenance.
1c	Other, Skylights	Steel-framed wire-glass openings.	Fair-Poor	All skylights.	1865	2006	Clear, Weathertight, Structurally Sound	Limited review, 2004 & 2006.	Redesign and rebuild in accordance with anticipated future use.		X			100+	Unless leaking or deficient in some manner, address as part of roof restoration activities in local areas.
1d	Other, Chimneys	Brick masonry capped with bluestone.	Fair-Poor	North and south wing, western tower areas.	1865	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004.	Repoint if functional, or dismantle and cap below roofline when roof coverings replaced.					Depends upon selected option.	Chimneys are not visible from ground sightlines and do not contribute to architectural identity.
1e	Other, Catwalks	Painted, galvanized steel pipe frame with pressure-treated lumber decking.	Poor	Central ridge of all wings.	1970	Unlimited with maintenance.	Structurally sound.	None	Replace wood decking and consider changing paint color to minimize aesthetic impact.	X	X			Depends upon deck material selected.	Code review required prior to implementing changes. Some catwalk rehabilitation is planned for 2007 with tower restoration projects.
1f	Other, Firewalls	Brick masonry through-wall flashed with lead-coated copper and capped in bluestone.	Good	East elevation firewalls closest to central dome.	1865	Unlimited with maintenance.	Weathertight, structurally sound.	Partially rebuilt, re-flashed and recapped in 2005.	No recommended action.					100+	
		Brick masonry through-wall flashed with lead-coated copper and capped in bluestone.	Fair	All other areas.	1865	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004.	Review periodically, and rebuild as roof scope in area is undertaken.	X				100+	Two west elevation firewalls adjacent to north and south tower are planned for rehabilitation in 2007.

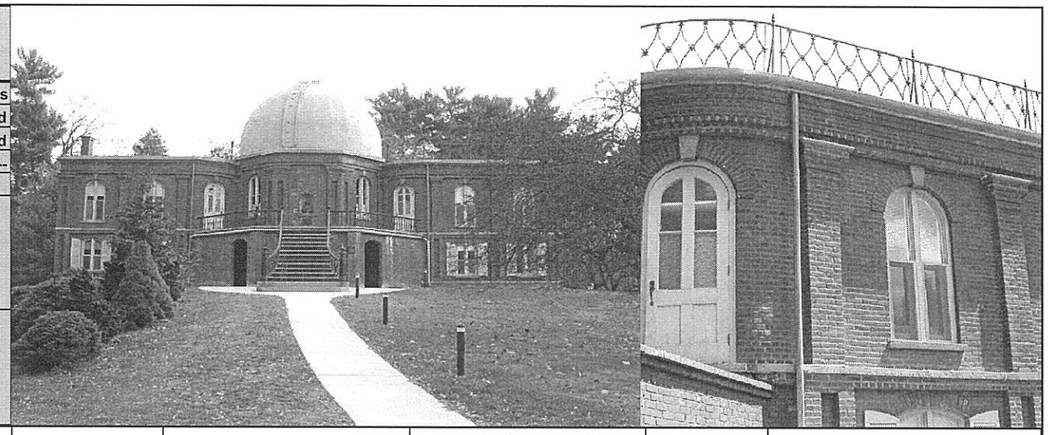
1 Main House 1865



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry with decorative brick pilasters, string courses, arches, and dentil courses.	Fair	All elevations.	1865	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004, and localized stabilization of south-east corner, 2005.	Repoint to renew weathertightness using historic black mortar.	X	X	X		100+	During previous renewal cycle, mortar color changed from black to medium gray.
		Typical window sills: Bluestone	Fair	All elevations.	1865	Unlimited with maintenance.	Weathertight.	Limited review, 2004.	Seal cracks or replace unit to restore weathertightness.	X	X	X		100+	
		Decorative bluestone elements: pilaster caps, band courses	Fair-Poor	All elevations, localized units: poor drainage and erosion.	1865	Unlimited with maintenance.	Weathertight, draining.	Limited review, 2004.	Replaced irretrievably damaged units with matching materials.	X	X	X		100+	Coordinate with masonry restoration programs in local areas.
3	**Windows**														**Windows**
3a	Operable	Single-hung, painted oak frame and sashes with divided lites.	Fair	All elevations.	1865	Unlimited with maintenance	Weathertight, optically transparent, functional.	Limited review, 2004, exterior painted, 2005.	Develop a phased restoration plan for all windows.			X	X	Unlimited with maintenance.	
3b		Casement, painted oak frame with divided lights (wooden sills).	Fair	All elevations.	1865	Unlimited with maintenance						X	X		
3c	Operable	Double hung, painted oak frame and sash with divided lites.	Fair	All elevations.	1865	Unlimited with maintenance	Weathertight, optically transparent, functional.	Limited review, 2004, exterior painted, 2005.	Develop a phased restoration plan for all windows.			X	X	Unlimited with maintenance	
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Entrances	Composite brick masonry and bluestone paved entrance areas.	Fair	West main entrance is damaged from water entry from overhead roof and salt scaling.	1959	Unlimited with maintenance	Aesthetically pleasing, durable.	Limited review, 2004.	Rehabilitate or replace during comprehensive masonry restoration program.			X		With salt exposure, potentially 50 yrs.	Entrance was developed as part of the 1959 restoration at which time the Thompson annex was removed.

2 Maria Mitchell Observatory 1865

Architect	Charles S. Farrar	Reference Documents	
Renovation Dates	1895	Architectural Drawings	Limited
Use	Administrative, Academic	Structural Drawings	Limited
Number of Floors	2 Floors	Civil Drawings	---
Significance			
Architectural Characteristics			



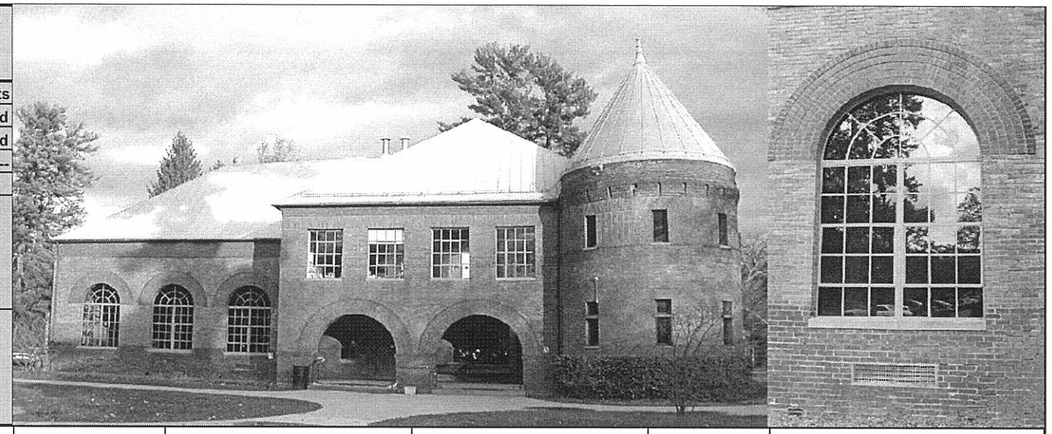
Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Flat seam terne with elastomeric coating	Good	Dome at central plan	1865	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Limited review, 2004.	Maintain coating on terne.			X		Unlimited with maintenance.	
1b	Low Slope	Built-up roof	Fair	Localized areas atop tower ends of north and south wings.	1980	2005	Weathertight	Limited review, 2004.	Replace with new built-up roof or other long-durability system.			X		30-50 yrs	
		Bluestone pavers with underlying drainage and waterproof layer (bituthene)	Good	Main Porch at building entrance	2004	2039	Weathertight, draining.	Re-designed and reconstructed in 2004.	No recommended action.				X	35	
1c	Other,Chimneys	Brick masonry capped with bluestone.	Fair-Poor	At the end of each wing extending from dome	1865	Unlimited with maintenance.	Weathertight, Structurally Sound	Limited review, 2004.	Repoint & restore weathertightness to coping assembly.		X			Unlimited with maintenance.	
1d	Other, Gutters	Closed terne-coated stainless steel gutter system	Good	Around main porch	2004	Unlimited with maintenance.	Weathertight, draining.	2004	No recommended action.					50+	
		Lead-coated copper running to on grade cast iron drains	Fair-Poor	From roof to grade throughout building	1970	2020	Weathertight, draining.	None	Replace at end of service life				X	50+	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry with decorative brick pilasters, arches, and dentil courses.	Fair	All elevations.	1865	Unlimited with maintenance.	Weathertight, structurally sound, Aesthetically pleasing.	Limited review and repair, 2004	Repoint to renew weathertightness matching existing.		X			Unlimited with maintenance.	
		Typical window sills: Bluestone	Fair	All elevations.	1865	Unlimited with maintenance.	Weathertight.	Limited review, 2004.	Seal cracks or replace unit to restore weathertightness.		X			Unlimited with maintenance.	
		Decorative bluestone elements: pilaster caps, band courses, keystones	Fair-Poor	All elevations, localized units: poor drainage and erosion.	1865	Unlimited with maintenance.	Weathertight, draining.	Limited review, 2004.	Replace irretrievably damaged units with matching materials.		X			Unlimited with maintenance.	Coordinate with masonry restoration programs in local areas.

2 Maria Mitchell Observatory

Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
3	**Windows**														**Windows**
3a	Operable	Double hung, painted oak frame and sash with divided lites and decorative shutters	Poor	All elevations.	1865	Unlimited with maintenance	Weathertight, optically transparent,	Limited review, 2004,	Develop a phased restoration plan for all windows.			X	X	Unlimited with maintenance.	
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Entrances	Painted oak doors with divided upper lites and paneling	Poor	Main porch doors and jambs	1970	Unlimited with maintenance	Weathertight, aesthetically pleasing.	Limited review, 2004	Include in restoration plan for windows.		X			Unlimited with maintenance.	
4b	Stairs and handrails	Painted cast iron detailing and stairs	Fair	Main stairs, rails extend perimeter of roof and terrace.	1865	Unlimited with maintenance.	Aesthetically pleasing, structurally sound	Limited review and repainting of lower rails, 2004.	Replace deteriorated bolts, repaint		X			Unlimited with maintenance.	

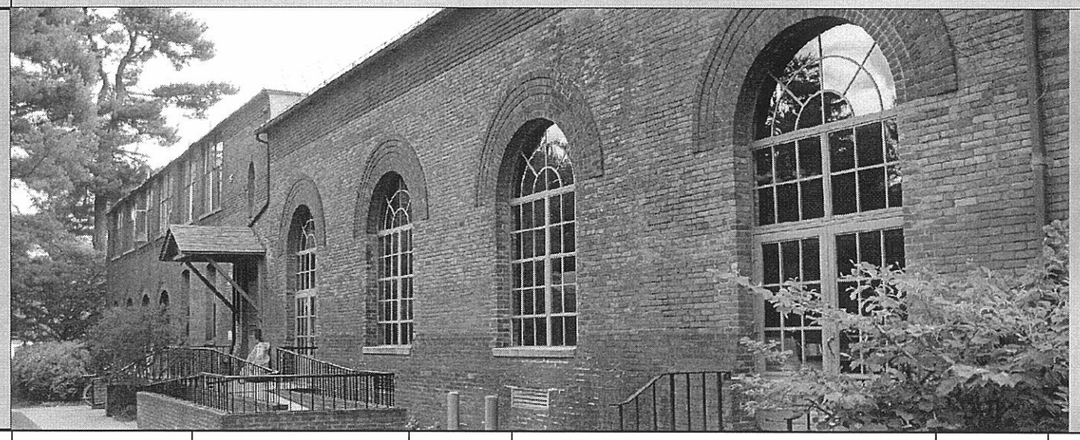
4 Ely Hall 1889 (Addition 1906)

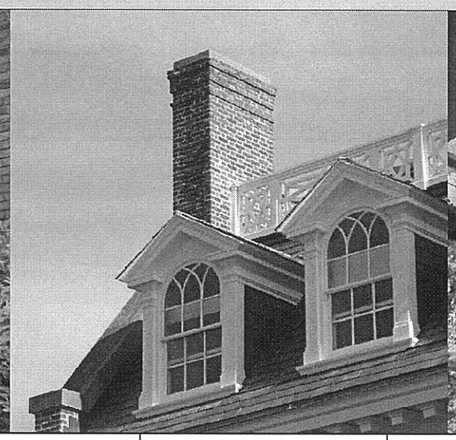
Architect	William Tubby (William Downing)	Reference Documents	
Renovation Dates	1933, 1944, 1994	Architectural Drawings	Limited
Use	Library, Academic, Offices	Structural Drawings	Limited
Number of Floors	2 Above ground	Civil Drawings	---
Significance			
Architectural Characteristics			



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Standing seam terne roof, coated with an acrylic system.	Fair	All slopes.	1906	2056	Weathertight	Limited review, 2004.	Review condition in detail and make localized repairs. Install new gutter system.	X	X			n/a	Terne roof system can last indefinitely if proper coating maintained. Present roof is old, and possibly original, but is too deteriorated under coating and must be replaced. Original gutter system abandoned and largely removed, but absence is impacting brick masonry.
		Galvanized gutter, south-west turret.	Poor	Localized area.	1980	2010	Weathertight, Structurally Sound	Limited review, 2004.	Replace with new system, presumably copper or aluminum.	X				40	New gutter selection dependent on complete roof assessment.
1b	Low Slope	0.060 mil thick, fully adhered EPDM Carlisle systems.	Fair	Localized area.	1990	2010	Weathertight	Limited review 2004; Localized repairs, 2006.	Repair seams and strip in at gravel stop to extend remaining service life.		X				
1c	Other, Skylights	Steel-framed glass openings.	Poor	All skylights.	1906	2006	Clear, Weathertight, Structurally Sound	Coated in 2005, and non-functional.	Redesign and rebuild in accordance with anticipated future use.		X			100+	Address in advance of roof rehabilitation program to minimize damage of new roof systems.
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry.	Fair	At ground level and on turret, outer wythe of masonry displaced and damaged from excessive, on-going water exposure.	1895	Unlimited with maintenance.	Weathertight, Structurally Sound	Limited review, and localized stabilization of turret, 2004.	Address roofing, then reset brick and repoint in affected areas.		X			50+	Poor roof drainage control is unraveling masonry in splash areas.
		Typical window sills: Bluestone	Fair	Cracked at centerpoint, random units.	1895	Unlimited with maintenance.	Weathertight	Limited review, 2004.	Seal cracks or replace unit to restore weathertightness.		X			50+	
3	**Windows**														**Windows**
3a	Fixed	Steel frame with divided lights.	Fair	Corrosion of steel frames and mullions undermining weathertightness.	1944	2009	Weathertight	none	Review window systems and replace with long service life option.		X	X		80	Windows have been replaced and changed since 1944. Examine options and replace with aesthetically similar units.
3b	Operable	Wood frame with divided lights (wooden sills).	Poor	Wood rotten, and not weathertight.	1944	2009	Weathertight	none	Review window systems and replace with long service life option.		X	X		80	

4 Ely Hall

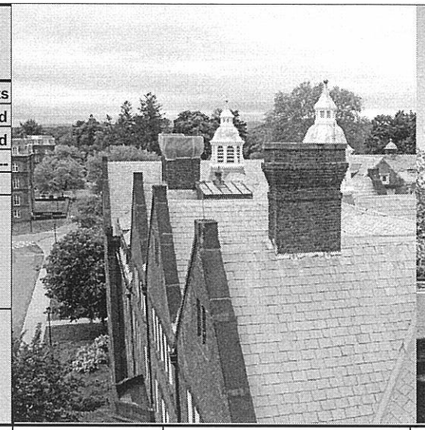


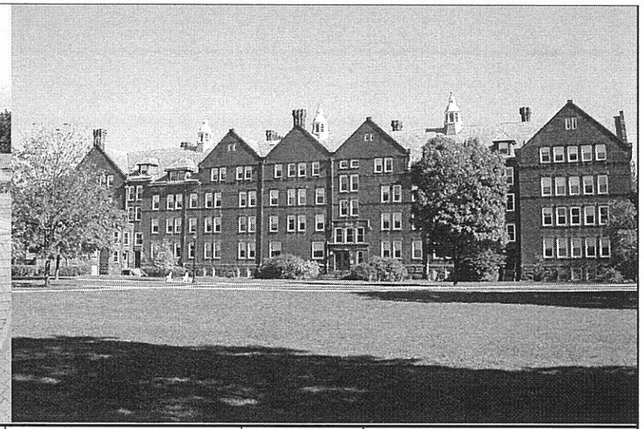


Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
4	(Other Building Components- as required)														(Other Building Components- as required)
4a	West entrance	Covered entrance with ceramic mosiac tile floor atop concrete. Deck and tile have been damaged by de-icing salt, ponding water.	Fair	Entire entrance.	1889	Unlimited with maintenance.	Structurally stable. Aesthetically pleasing.	Limited review 2004.	Continue temporary repairs to preserve stability until deck replacement is scheduled.		X			Depends upon selected system.	

6 Strong House 1893

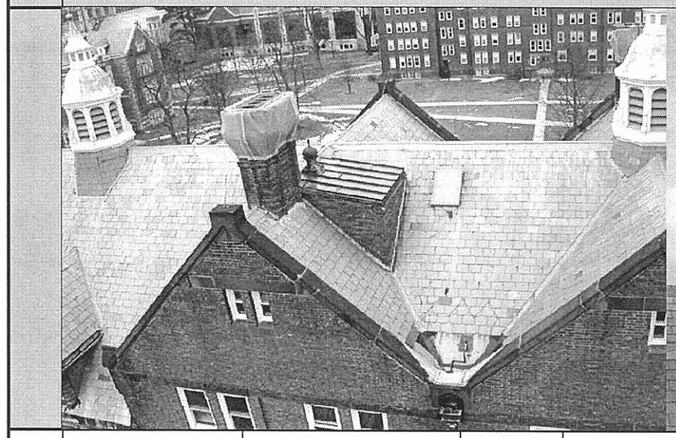
Architect	Francis R. Allen	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Residence	Structural Drawings	Limited
Number of Floors	5 above, 1 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			

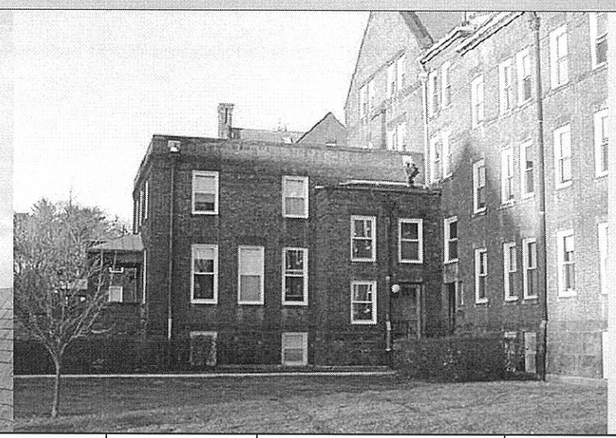
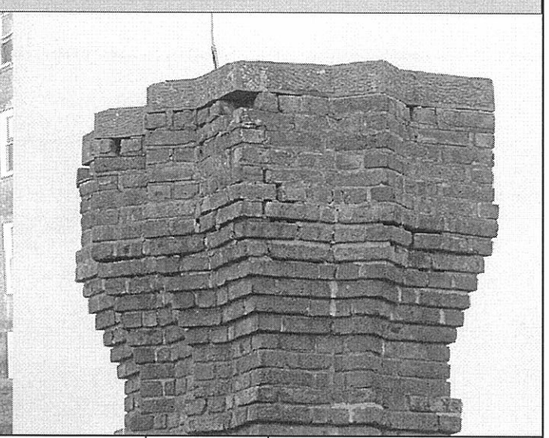




Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Vermont fading green slates, numerous replacements.	Good	All slopes.	1980	2080	Weathertight	Limited review and repairs, 2005.	Replace missing or cracked slates as needed.			X		100+	Replace deteriorated slates during flashing rehabiliation project.
		Copper flashings and built-in gutter system.	Poor	All areas	1980	2010	Weathertight, Structurally Sound	Limited review and repairs, 2005.	Replace all flashings, and install through-wall flashing under coping stones.			X		60	
1b	Low Slope	Low-rise portion of building, presumably with coal tar system.	Fair	Localized area.	Unknown, presumed 1980	2010	Weathertight	None	Replace as part of a full roof rehabilitation.			X		Depends upon selected system.	
1c	Other, Chimneys	Six chimneys originally constructed with two wythes of masonry with bluestone caps.	Excellent-Good	Five chimneys partially rebuilt in 2005, and the sixth was repaired.	2005	2080	Weathertight, Structurally Sound	Limited review in 2004, and stabilized with netting. Rebuilt in 2005.	No recommended action.					75	
1d	Other, Dormers	Similar to main roof.	Good	All slopes.	1980	2080	Weathertight	Limited review, 2005.	Replace missing or cracked slates as needed.			X			Replace deteriorated slates during flashing rehabiliation project.
1e	Other, Cupolas	Timber framed, louvered painted walls with painted terne cap.	Fair	Louvers leak, and finials have been falling off.	1902	Unlimited with maintenance.	Weathertight, Aesthetically pleasing.	Limited review, 2004.	Review conditions, and restore paint system. Secure or replace loose finials.			X			Unlikely all present components are original, and further investigation required.
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry.	Fair	Areas under gutters and coping stone mortar joints are open.	1893	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review in 2004, and stabilization in 2005.	Address roofing, then repoint affected areas. Remove coping stones and reset atop through-wall flashing.			X		50+	Improving the roof drainage system will decrease rate of deterioration.
		Brownstone trim elements: typical window lintels, coping stones, beltcourse.	Fair	Open mortar joints undermine weathertightness.	1893	Unlimited with maintenance.	Weathertight.	Limited review, 2004.	Seal cracks or replace unit to restore weathertightness.			X		50+	

6 Strong House

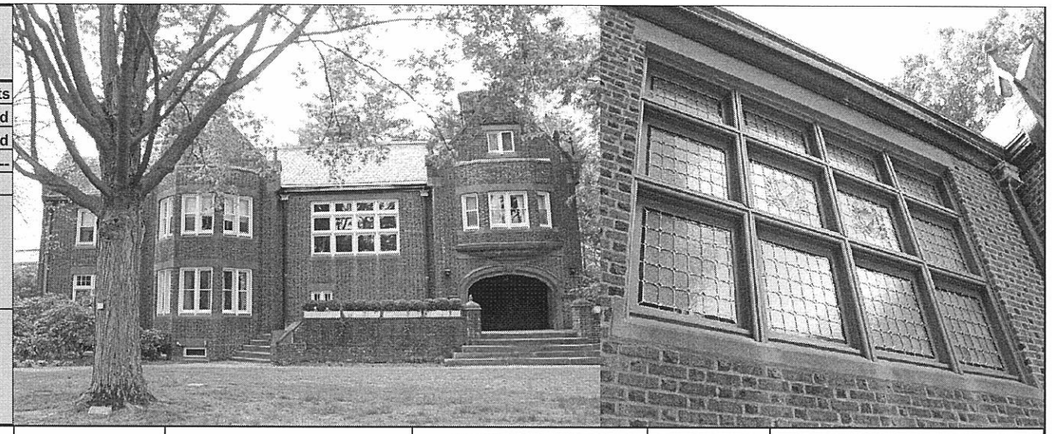


Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
3	**Windows**														**Windows**
3a	Operable, single-hung.	Wood frame and sashes.	Fair	Window frames not sealed at perimeter, aesthetic concerns.	1980	3	Weathertight, aesthetically pleasing.	none	Review window systems and replace with long service life option.			X		30	Windows appear to remain functional but are nearing end of service life.
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Mass Masonry, Composite	Main Quadrangle entrance: original brownstone elements, proesumed to be framed by brick piers.	Fair	Weathered appearance is aethetically displeasing.	1893	2006	Structurally stable, aesthetically pleasing.	Limited review, 2004 and 2006.	Rebuild 100%.		X			100+	To be coordinated with plans for interior renovation of residence hall.
4b	Mass Masonry, Composite	Main Road entrance: original brownstone elements, new brick.	Excellent	Entire staircase rebuilt, 2005.	2005	2105	Structurally stable, aesthetically pleasing.	Rebuilt in 2005.	No recommended action.					100+	
4c	Mass Masonry, Composite	Low-rise staircase: steel framed with concrete, brick, bluestone, and brownstone composite masonry.	Fair	Staircase partially rebuilt, but on-going deterioration and corrosion of steel.	1985	2015	Structurally stable, aesthetically pleasing.	Limited review, 2006.	Selective rebuild, replacement of staircase treads, localized masonry repairs.			X		40	Condition of staircase does not mandate immediate intervention, but may consider coordination of this rehabilitation within larger masonry program planned for 2009.

7 President's House 1895

Architect	Rossiter & Wright	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Private Residence	Structural Drawings	Limited
Number of Floors	3 Above Ground, 1 Below	Civil Drawings	---
Significance			
Architectural Characteristics			



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1	**Roof Construction**														**Roof Construction**
1a	Pitched Mansard	Black slate, potentially from Monson, Maine. Some replacement slate is PA black.	Good	All slopes.	1930	2046	Weathertight	Limited review 2004; Localized repairs, 2006.	On-going review and localized slate replacement.		X			2046	Although not essential, consider replacing slate at same time as flashings to extend time until next replacement from 40 to 60 years. Coordinate all replacement with other roof systems.
		Copper flashings, gutters.	Poor		1990	2010			Replace all flashings, add through-wall flashings under coping stones, and replace gutters.		X			60	
1b	Low Slope, EPDM	0.060 mil thick, fully adhered EPDM Firestone systems. Original systems likely flat-seamed copper.	Fair	Above east entrance.	1990	2010	Weathertight	Limited review 2004; Localized repairs, 2006.	Replace EPDM with flat-seam copper system.		X			60	Lower cost, shorter service life systems are available (EPDM, etc.).
			Fair	Central top roof.	1990	2010			Replace EPDM with flat-seam copper system.		X			60	
1c	Other, Brick Chimneys	Single-wythe brick construction, with multiple unlined openings.	Fair	All chimneys, deteriorated masonry construction.	1895	2010	Weathertight, Structurally Sound	Localized repairs, 2006.	Redesign and rebuild in accordance with anticipated future use.		X			100+	Address in advance of roof rehabilitation program to minimize damage of new roof systems.
1d	Other, BUR	Coated system.	Good	Area above southern alcove.	Unknown, presumed to be 1980.	2020	Weathertight, Draining	Limited review, 2004.	Repair or replace to retain weathertightness as part of roof replacement program.		X			Depends upon selected system.	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Two wythes of brick tied to wood frame.	Fair	Weathered mortar joints, and damaged masonry from excessive exposure to water.	1895	Unlimited with maintenance.	Weathertight, structurally sound.	Localized repointing, 2006.	Repoint to address water infiltration in critical areas.	X	X			50+	
		Typical walls: Brown sandstone trim elements	Fair	Mortar joints open.	112	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2006.	Repoint 100% to reduce water infiltration.		X			50+	For coping stones, perform this work in concert with installation of new through-wall flashings. Repair/replace missing or deteriorated decorative brownstone elements.
		North-east patio: tile atop concrete deck with multi-wythe masonry walls capped with brownstone.	Fair	Poor deck drainage reduces durability of patio elements.	1960	2011	Structurally sound, aesthetically pleasing.	5 yr repair, 2006.	Demolish patio and substructure, and rebuild.			X		100+	Redesign of patio area should include positive drainage away from perimeter wall.
		South-west terrace: concrete deck extension to house covers garage.	Fair	Cracks in concrete deck.	TBD		Weathertight, Structurally sound, aesthetically pleasing.	Crack injection to concrete, 2004.	No recommended action.					n/a	Masonry rebuild may provide opportunity to restructure terrace deck.
				Steel lintel corrosion displacing brick masonry.					Rebuild masonry and repair/replace steel lintel.		X			100+	

7 President's House

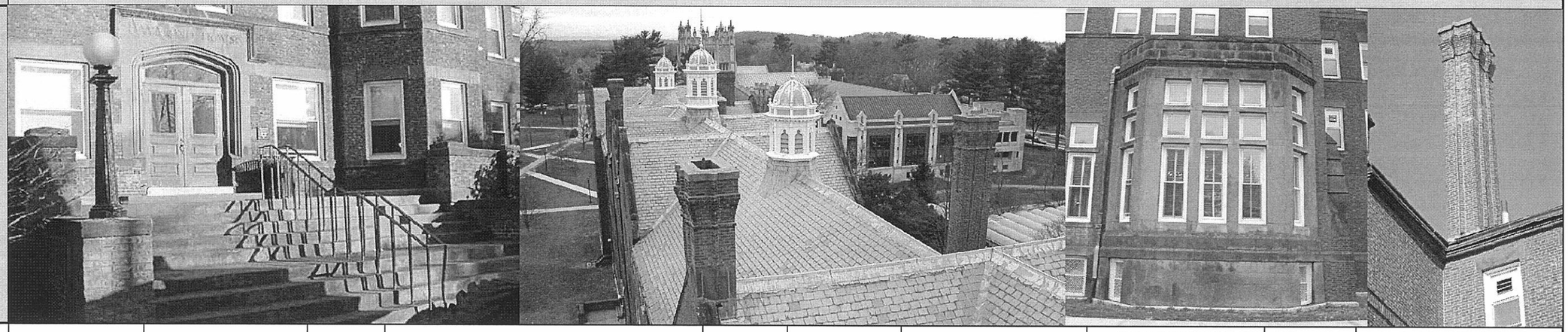
Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
3	**Windows**														**Windows**
3a	Fixed, Stained Glass	Multi-sectioned replica of historic window.	Excellent	New window replacement, north elevation.	2006	2081	Weathertight, Structurally stable	Designed by S/L/A/M Collaborative, 2006.	No recommended action.					n/a	
3b	Fixed	Wooden sashes, leaded glass, with leaded glass replaced with clear glass.	Excellent	Windows reviewed and repainted.	1895	Unlimited with maintenance.	Weathertight.	Paint colors analyzed and sashes repainted, 2006.	No recommended action.					n/a	
3c	Operable, Single Hung	Wooden sashes, leaded glass, with leaded glass replaced with clear glass.	Excellent	Windows reviewed and repainted.	1895	Unlimited with maintenance.	Weathertight.	Paint colors analyzed and sashes repainted, 2006.	No recommended action.					n/a	
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	East Entry Staircase	Brownstone staircase to covered entrance.	Good.	Entire entrance.	1895	Unlimited with maintenance.	Structurally stable.	Limited review 2004.	No recommended action.					n/a	
4b	South Entry Staircase	Bluestone pavers atop brick masonry piers provides main service entrance.	Fair	Main service entrance difficult to navigate; masonry deteriorated.	1895	2011	Structurally stable, functionally efficient.	Limited review 2006; minor repair 2006.	Coordination of interior needs with exterior configuration required. Reconfigure and rebuild staircase to suit modern requirements.			X		100+	Minor repair in 2006 delayed full rehabilitation for maximum 5 yrs.
4c	Garage	Not original to building. Refer to Item 2a.													

8 Raymond House 1897

Architect	Francis R. Allen	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Residence	Structural Drawings	Minimal
Number of Floors	5 above, 1 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			

Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Vermont unfading green slates, numerous replacements.	Fair	All slopes.	1897	2022	Weathertight	Limited review and repairs, 2005.	Replace missing or cracked slates as needed until full replacement.				X	125+	Consider timing slate replacement with flashing rehabilitation.
		Copper flashings and gutter system.	Poor	All areas	1950	2010	Weathertight, Structurally Sound	Limited repairs, 2005. Through-wall flashing, 2006.	Replace all flashings, except under coping stones addressed in 2006.		X			60	
1b	Low Slope	Low-rise portion of building, presumably with coal tar system.	Fair	Localized area.	Unknown, presumed to be 1980.	2010	Weathertight	None	Repair or replace during comprehensive roof rehabilitation program.		X			Depends upon selected option.	
1c	Other, Chimneys	Six chimneys constructed with two wythes of brick with bluestone caps.	Fair	Weathered masonry joints accelerates deterioration of the assemblies.	1897	2022	Weathertight, Structurally Sound	Limited review in 2004.	Repoint 100% during next masonry rehabiliation cycle.			X		50	
1d	Other, Dormers	Similar to main roof.	Good	All slopes.	1987	2022	Weathertight	Limited review, 2005.	Replace missing or cracked slates as needed.		X				Replace deteriorated slates during flashing rehabiliation project.
1e	Other, Cupolas	TBD	Fair	Louvers leak, and finials have been falling off.	1897		Weathertight, Aesthetically pleasing.				X				Unlikely all present components are original, and further investigation.
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry.	Fair	Areas under gutters and coping stone mortar joints are open.	1897	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review in 2004, and stabilization in 2005.	Address roofing, then repoint affected areas. Until then, masonry under gable ends repointed or rebuilt.			X		50+	Improving the roof drainage system will decrease rate of deterioration.
		Brownstone trim elements: typical window lintels, coping stones, beltcourse.	Fair	Open mortar joints undermine weathertightness. Three gables have been pinned to stabilize, but remaining gables require intervention.	1897	Unlimited with maintenance.	Weathertight.	Limited review, 2004, and some rehabilitation, 2005. Through-wall, 2006.	No recommended action.					50+	

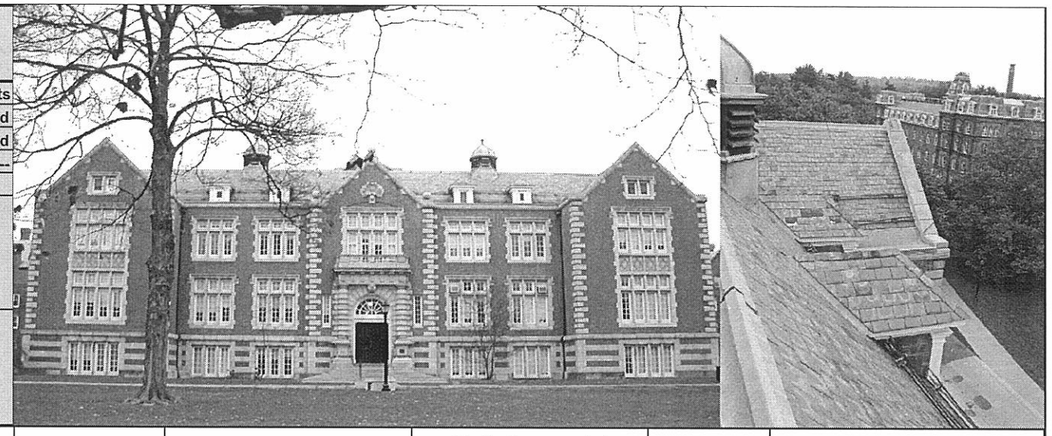
8 Raymond House



Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
3	**Windows**														**Windows**
3a	Operable, single-hung.	Wood frame and sashes.	Fair	Window frames not sealed at perimeter, aesthetic concerns.	1980	2010	Weathertight, aesthetically pleasing.	none	Review window systems and replace with long service life option.		X			30	Windows appear to remain functional but are nearing end of service life.
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Mass Masonry, Composite	Main Quadrangle entrance: original brownstone elements, proesumed to be framed by brick piers.	Fair	Weathered appearance is aethetically displeasing.	1897	1997	Structurally stable, aesthetically pleasing.	Limited review, 2004 and 2006.	Rebuild 100%.			X		100+	
4b	Mass Masonry, Composite	Main Road entrance: original brownstone elements, new brick.	Excellent	Entire staircase rebuilt, 2005.	2005	2105	Structurally stable, aesthetically pleasing.	Rebuilt in 2005.	No recommended action.					100+	
4c	Mass Masonry, Composite	Low-rise staircase: steel framed with concrete, brick, bluestone, and brownstone composite masonry.	Fair	Staircase partially rebuilt, but on-going deterioration and corrosion of steel.	1985	2015	Structurally stable, aesthetically pleasing.	Limited review, 2006.	Selective rebuild, replacement of staircase treads, localized masonry repairs.			X		40	Condition of staircase does not mandate immediate intervention, but may consider coordination of this rehabilitation within larger masonry program planned for 2009.

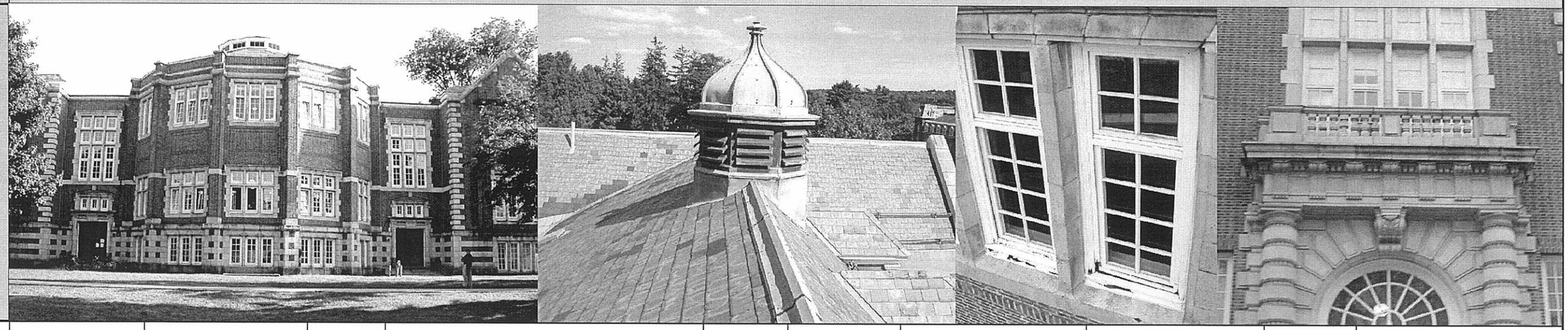
9 Rockefeller Hall 1897

Architect	York & Sawyer	Reference Documents	
Renovation Dates	1916, 1940	Architectural Drawings	Limited
Use	Academic: Mathematics Department	Structural Drawings	Limited
Number of Floors	3 Floors + Basement	Civil Drawings	---
Significance	"Rockefeller Hall was Vassar's first general academic building providing much-needed space for class lectures as well as indivdual consultation with faculty members....."		
Architectural Characteristics	"Many of its features, such as the large multi-paned windows and gabled roofline, are clearly drawn from late medieval English sources. Tudor or Elizabethan models were favored for college buildings of the time....."		



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Low Slope	Original likely flat-seam copper. Replaced with chlorosulphonated polyethylene (Hypalon)	Fair	Northern low slope roof	1990	2010	Weathertight	Limited review, 2004. Minor repairs, 2006.	Replace with long durability system, presumably T-Z copper flat seam		X			60	Coordinate within full envelope restoration project.
				Northern low slope roof					Replace with long durability system, presumably T-Z copper flat seam		X			60	
1b	Pitched	Gabled, Pennsylvania Black Slate	Fair	Slate roofing	1897	2007	Weathertight	Limited review, 2004. Minor repairs, 2006.	Replace with new slate of long durability.		X			125	Pennsylvania black slate among least durable slates. Other longer durability black slate available
1c	Other, Gutter	Roll roofing (occaisonally aluminum painted) and chlorosulphonated polyethylene (Hypalon)	Fair	Membrane roofing on south facing entryway portico and roll roofing gutters	1990	2010	Weathertight, Draining	Limited review, 2004. Minor repairs, 2006.	Replace with long durability system, presumably T-Z copper flat seam		X			60	Coordinate within full envelope restoration project.
				Membrane roofing on south facing entryway portico and roll roofing gutters				Limited review, 2004. Minor repairs, 2006.	Replace with long durability system, presumably T-Z copper flat seam		X			60	
1d	Other, Cupolas	Copper-clad domes.	Good	Missing finial on south-west cupola.	1990	2040	Weathertight, Draining	None	Restore missing elements and repair open seams and breaches.		X			n/a	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry Composite	Brick Masonry	Poor	All elevations.	1897	Unlimited with maintenance.	Weathertight, structurally sound, clean	Limited review, 2004.	100% repointing of façade.		X			150+	
2b		Limestone	Fair	All elevations.	1897	Unlimited with maintenance.	Weathertight, structurally sound, clean	Limited review, 2004.	100% repointing of elements.		X			Unlimited with maintenance.	
2c		Terracotta	Fair	All but window lintels	1897	Unlimited with maintenance.	Weathertight, structurally sound, clean	Limited review, 2004.	Repoint 100%.		X			Unlimited with maintenance.	
				Window Lintels					Replace with new terra cotta units of similar configuration but with stainless stell hardware.		X			Unlimited with maintenance.	

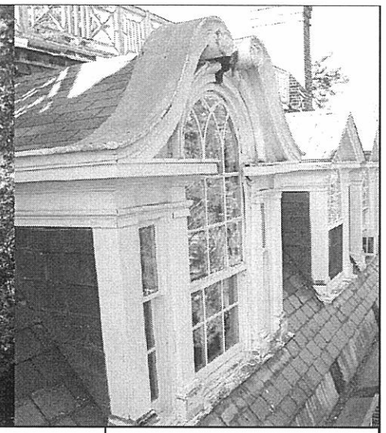
9 Rockefeller Hall



Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
3	Windows														Windows
3a	Fixed and/or Pivoted	Vinyl sashes with insulated glass	Poor	Window Assemblies: Frames and sashes	1988	2018	Weathertight, operable	Limited review, 2004.	Requires assessment and replacement		X			Depends on selected window system	Operation of window difficult. Some deficiencies but consider replacement with envelope restoration. Approx. 76 windows. Original windows triple hung.
3b	Fixed	Wood frames and sill	Poor	Windows with vinyl-clad sashes	1897	2011	Weathertight	Limited review, 2004.	Requires assessment and replacement.		X			Depends on selected window system	Original wood frames appear to remain in place covered with vinyl. Wood frames painted. Localized rot occuring, confined to sill region.
4	(Other Building Components- as required)														(Other Building Components- as required)
4a	Entrance	Ornate terra cotta door surround with limestone staircase.	Good-fair	Main doors	1897	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Limited review, 2004.	Refurbish or replace doors.		X				

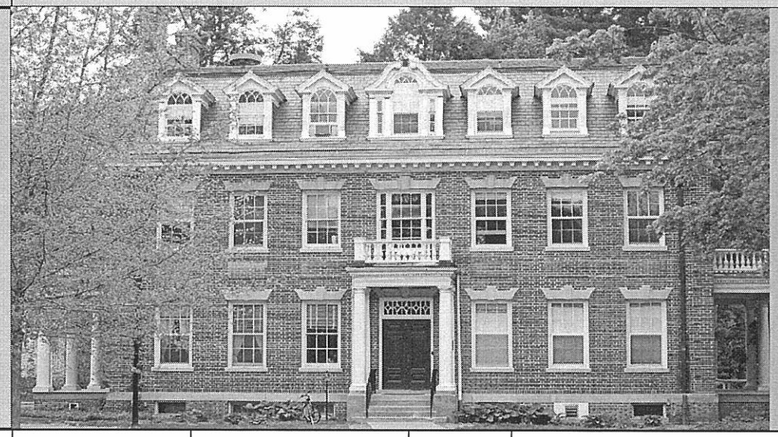
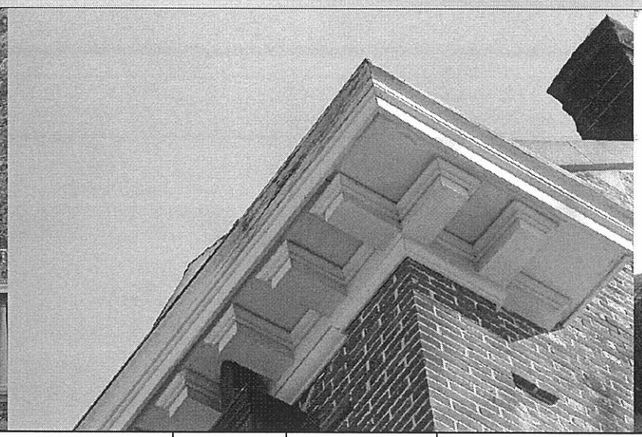
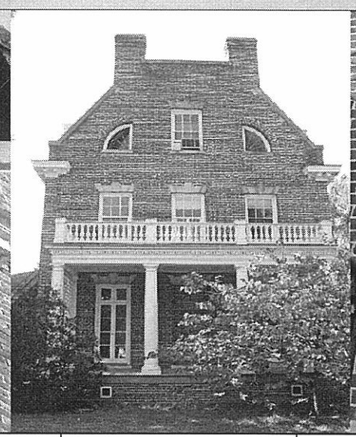
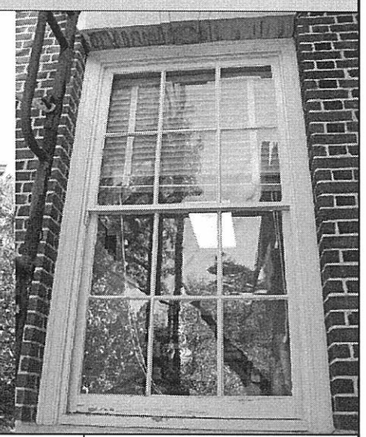
10 Swift Hall 1900

Architect	York & Sawyer	Reference Documents	
Renovation Dates	1941 Remodel	Architectural Drawings	Limited
Use	Academic, Offices	Structural Drawings	Limited
Number of Floors	3 above, 1 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	Roof Construction														Roof Construction
1a	Pitched	Black slate, assumed to be Peach Bottom.	Good	West and East lower slope.	1960	2085	Weathertight	Rehabilitated with copper flashing replacement in 2005.	No recommended action except for periodic review and maintenance.				X	125+	Anticipated replacement in 2085. Assume 5 yr cycle of review and replacement of broken, missing slates.
		Copper flashings and built-in gutter system.	Excellent	Lower west and east slopes.	2005	2080	Weathertight, Structurally Sound, Draining.	Replaced in 2005.	No recommended action.					60	Assume periodic maintenance every 5 yrs.
1b	Low Slope	50 yr. asphalt shingles with copper flashings and accessories.	Excellent	Upper west and east slopes.	2005	2055	Weathertight	Replaced in 2005.	No recommended action					50	Assume periodic maintenance every 5 yrs.
1c	Other, Chimneys	Four chimneys constructed with two wythes of brick with limestone caps.	Fair	Weathered masonry joints accelerates deterioration of the assemblies.	1900	2000	Weathertight, Structurally Sound	Limited review in 2004. Two chimneys stabilized with straps and netting.	Repoint 100% during next masonry rehabiliation cycle. Rebuild required areas of two chimneys.	X				50	
1d	Other, Dormers	Decorative window surrounds, clad in slate or shingles with terne ridge flashings.	Fair	Lower west and east slopes slates, shingles, valley and ridge flashing.	1960	2010	Weathertight	Limited review, 2005.	Replace missing or cracked slates as needed.		X				
			Excellent	Vertical fascia elements: original wood and synthetic wood (extruded PVC).	2005	2055	Weathertight, Aesthetically pleasing.	Rehabilitated, 2005, with new copper flashings.	No recommended action.						
1e	Other, Balustrade	Decorative element originally constructed from wood. Presently fabricated from large panels of extruded PVC to achieve original design intent.	Excellent	Anchored to upper east and west slopes.	2005	2055	Structurally stable, aesthetically pleasing.	Replaced 100% with new design in 2005.	No recommended action.						
1f	Low Slope	Covered porches.	Fair	North and south ends of building.	1980	2010	Watertight, Structurally stable, Draining, aesthetically pleasing.	Nearing end of service life.	Perform minor repairs as part of maintenance schedule.		X	X			Replace in 2010 with longer term durability systems and details.
1g	Low Slope	Entrance: flat seam copper roof with galvanized steel gutter.	Fair	One area.	1980	2010	Watertight, Structurally stable, Draining, aesthetically pleasing.	Misc. details require intervention: holes in flashings at posts, exposed steel screws, open seams, corrosion of gutter.	Perform minor repairs as part of maintenance schedule.		X	X			Replace in 2010 with longer term durability systems and details.

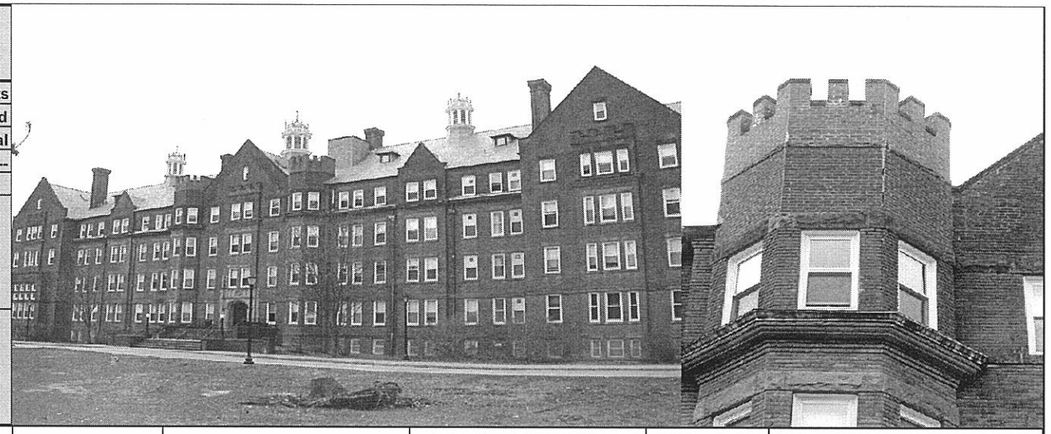
10 Swift Hall

Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry.	Fair-Poor	Areas under gutters and coping stone mortar joints are open. Off-white mortar friable.	1900	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review in 2006.	Investigate, then repoint designated areas.		X			50+	The improved roof system will decrease the rate of deterioration but not arrest it entirely.
		Limestone trim elements: typical window lintels, coping stones, beltcourse.	Fair	Open mortar joints undermine weathertightness.	1900	Unlimited with maintenance.	Weathertight.	Limited review in 2006.	Repoint 100%.		X			50+	Coordinate with brick masonry scope.
3	**Windows**														**Windows**
3a	Operable, single-hung.	Wood frame and sashes.	Fair	General elevations.	1900	2000+	Weathertight, aesthetically pleasing.	Limited review 2006.	Review window systems and rehabilitate or replace.		X			50	Windows require periodic maintenance, and painting every 10 years to remain in servicable condition.
3b	Operable, double-hung.	Wood frame and sashes.	Fair	Lower west and east roof areas.	1900	2000+	Weathertight, aesthetically pleasing.	Limited review 2006.	Review window systems and rehabilitate or replace.		X			50	
3c	Fixed	Wood frame and sashes.	Fair	North and south elevations, attic level.	1900	2000+	Weathertight, aesthetically pleasing.	Limited review 2006.	Review window systems and rehabilitate or replace.		X			50	
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Ramp for Accessibility	Wooden ramp servicing east entrance door.	Fair	Wood and paint deterioration of handrails.	1980	2040	Structurally stable, aesthetically pleasing.	Limited review 2006.	Maintain paint system; replace deteriorated members.		X			30	Coordinate with paint activities for windows.
4b	Entrance	Painted wood columns support porch covering limestone staircase.	Fair	Wood and paint deterioration.	1900	Unlimited with maintenance.	Watertight, Structurally stable, Draining, aesthetically pleasing.	Limited review 2006.	Refurbish wood components, and consider replacement of limestone risers.		X			Unlimited with maintenance.	

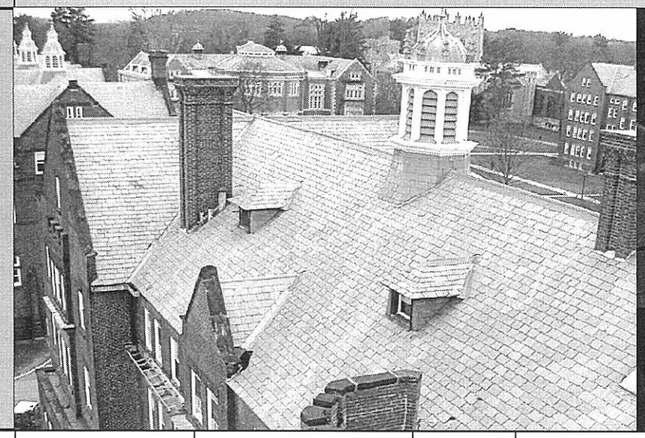
11 Lathrop House 1901

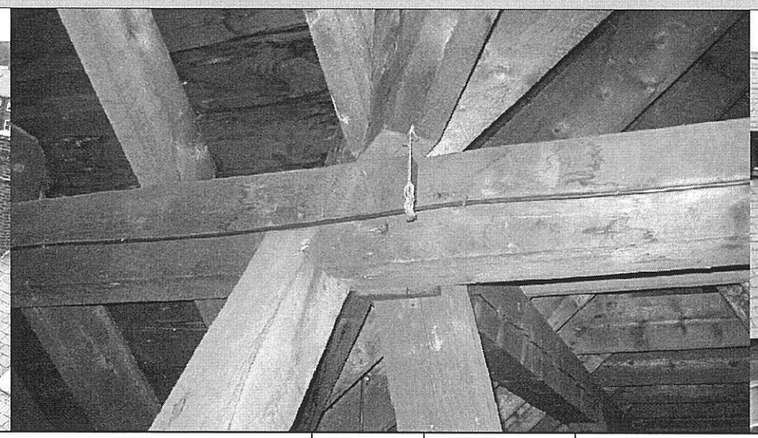
Architect	Allen & Vance	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Residence	Structural Drawings	Minimal
Number of Floors	5 above, 1 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			

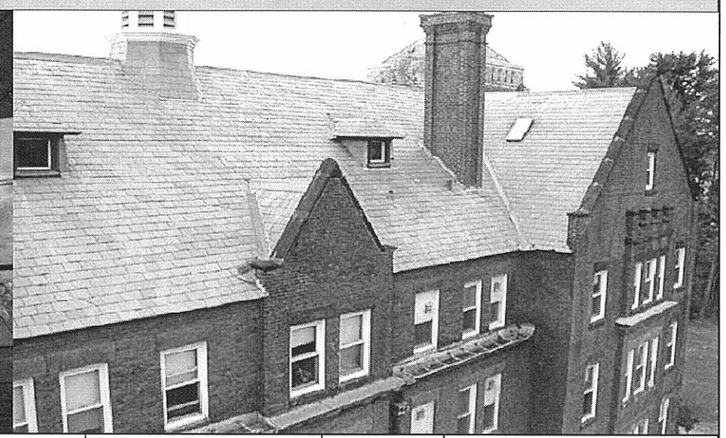


Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Vermont fading green slates, few replacements.	Good	All slopes.	1980	2105	Weathertight	Limited review, 2004, with minor repairs, 2005.	Replace missing or cracked slates as needed, possibly on 5 yr cycle.			X		125+	Anticipated replacement in 2105.
		Copper flashings and built-in gutter system.	Poor	All areas	1950	2010	Weathertight, Structurally Sound	Limited review and repairs, 2005.	Replace all flashings, and install through-wall flashing under coping stones.			X		60	Full rehabilitation of copper flashings, including installation of through-wall flashing merits review of slate replacement as well.
1b	Low Slope	Low-rise portion of building, presumably with coal tar system.	Fair	Localized area.	Unknown, presumed 1980	2010	Weathertight	None	Replace as part of a full roof rehabilitation.			X		Depends upon selected system.	
1c	Other, Chimneys	Five chimneys constructed with two wythes of brick with bluestone caps.	Fair	Weathered masonry joints accelerates deterioration of the assemblies.	1901	2001	Weathertight, Structurally Sound	Limited review in 2004.	Repoint 100% during next masonry rehabiliation cycle.		X			50	
1d	Other, Dormers	Similar to main roof.	Good	All slopes.	1980	2105	Weathertight	Limited review, 2005.	Replace missing or cracked slates as needed.			X			Replace deteriorated slates during flashing rehabiliation project.
1e	Other, Cupolas	Timber framed, louvered painted walls with painted terne cap.	Fair	Louvers leak, and finials have been falling off.	1901	Unlimited with maintenance.	Weathertight, Aesthetically pleasing.	Limited review, 2004.	Review conditions, and restore paint system. Secure or replace loose finials.			X			Unlikely all present components are original, and further investigation required.
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry.	Fair	Areas under gutters and coping stone mortar joints are open.	1901	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review in 2004, and stabilization in 2005.	Address roofing, then repoint affected areas. Until then, masonry under gable ends repointed or rebuilt.		X			50+	Improving the roof drainage system will decrease rate of deterioration.
		Brownstone trim elements: typical window lintels, coping stones, beltcourse.	Fair	Open mortar joints undermine weathertightness.	1901	Unlimited with maintenance.	Weathertight.	Limited review, 2004, and some rehabilitation, 2005.	Remove coping stones and reset atop through-wall flashing.		X			50+	

11 Lathrop House



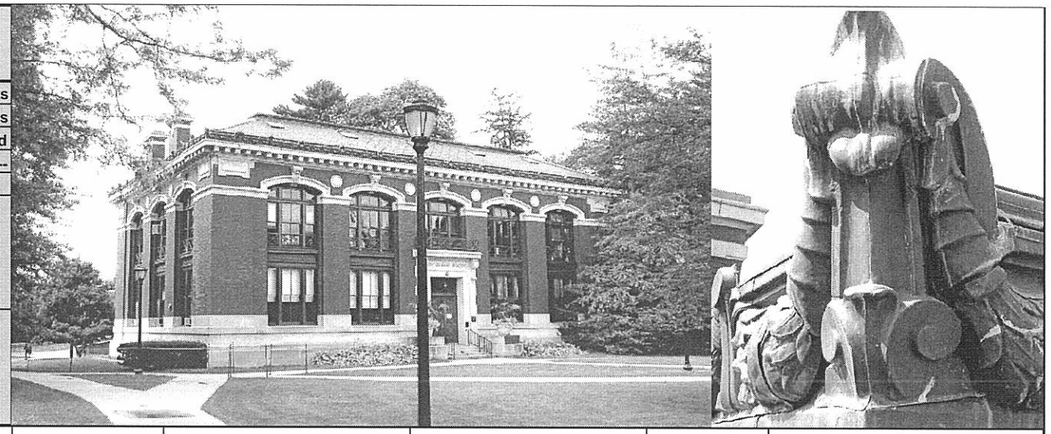




Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
2b	Mass Masonry, Composite	Parapets: Brick masonry capped with brownstone.	Fair	Similar to chimneys, on-going exposure has deteriorated masonry. Unstable elements removed, 2005 & 2006.	1901	Unlimited with maintenance.	Structurally stable.	Limited review, 2004 & 2006.	Rebuild parapets to restore appearance and structural stability.		X			100+	
3	**Windows**														**Windows**
3a	Operable, single-hung.	Wood frame and sashes.	Fair	Window frames not sealed at perimeter, aesthetic concerns.	1980	2010	Weathertight, aesthetically pleasing.	none	Review window systems and replace with long service life option.		X	X		30	Windows appear to remain functional but are nearing end of service life.
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Mass Masonry, Composite	Main Quadrangle entrance: original brownstone elements, proesumed to be framed by brick piers.	Fair	Weathered appearance is aethetically displeasing.	1901	2000	Structurally stable, aesthetically pleasing.	Limited review, 2004 and 2006.	Rebuild 100%.			X		100+	To be coordinated with plans for interior renovation of residence hall.
4b	Mass Masonry, Composite	Main Road entrance: original brownstone elements, new brick.	Excellent	Entire staircase.	2005	2105	Structurally stable, aesthetically pleasing.	Rebuilt in 2005.	No recommended action.					100+	
4c	Mass Masonry, Composite	Low-rise staircase: steel framed with concrete, brick, bluestone, and brownstone composite masonry.	Fair	Staircase partially rebuilt, but on-going deterioration and corrosion of steel.	1984	2014	Structurally stable, aesthetically pleasing.	Limited review, 2006.	Selective rebuild, replacement of staircase treads, localized masonry repairs.			X		40	Condition of staircase does not mandate immediate intervention, but may consider coordination of this rehabilitation within larger masonry program.
4d	Interior wood roof framing	North end of roof: roof framing of north-most gable.	Excellent	Framing unconstrained. Roof dilating and generating open masonry, and breaking perimter window seals with masonry.	2006	2106	Structurally stable.	Investigation and full repair executed, Summer 2006.	No recommended action.					100+	Service life of supplementary framing ties indefinite.

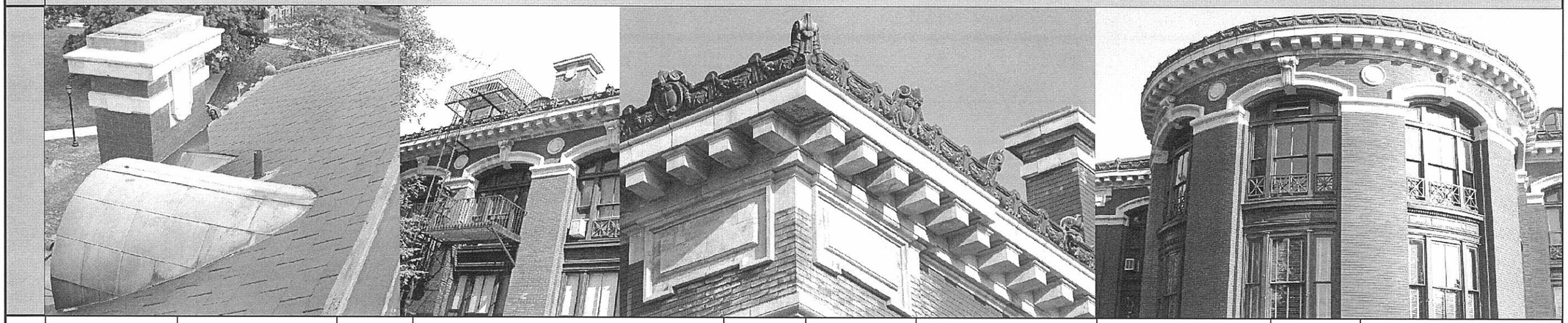
12 New England 1901

Architect	York & Sawyer	Reference Documents	
Renovation Dates	1919 (York & Sawyer)	Architectural Drawings	Yes
Use	Academic, Classrooms, Offices	Structural Drawings	Limited
Number of Floors	3 floors above; 1 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	Roof Construction														Roof Construction
1a	Low Slope Roof	Original flat-seam copper. Replaced with 0.060 adhered EPDM.	Fair	Adhered EPDM	1991	2011	Weathertight; draining	Limited review, 2004. Minor repairs, 2005.	Replace at end of service life.			X		30	Coordinate with roof rehabilitation project.
				Ferrous ridge at transition from EPDM to slate					Replace with long durability material when EPDM replaced.			X		60	
1b	Pitched Roof	Mansard, Buckingham Black Slate	Excellent	All slopes	1901	2161	Weathertight, aesthetically pleasing.	Limited review, 2004. Paint repairs, 2005.	No recommended action.					Unlimited with maintenance.	New high performance paint system: three coat epoxy-aliphatic polyurethane, with anticipated service life of 20 yrs.
		Ferrous hip and ridge covers	Excellent		1991	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Limited review, 2004. Minor repairs, 2005.	No recommended action.					150+	Although this type of slate has extremely long durability, it was glued down during installation. As such, any attempts to remove a single slate will likely break several slates.
1c	Other, Gutter	Decorative copper gutter with stamped copper fascia.	Poor	Copper gutter liner	1991	2007	Weathertight, Draining	Limited review, 2004. Minor repairs, 2006.	Dismantle gutter system, salvage decorative fascia, and install redesigned gutter system with additional drains.		X			60	Original painted, galvanized steel gutter system replaced in 1991 with copper-based assembly. Coordinate rehabilitation with roof rehabilitation project.
				Decorative copper fascia				Limited review, 2004.			X			60	
1d	Other, Dormers	Flat-seam copper-clad dormers.	Fair	Numerous breaches in system are protected by underlying waterproofing membrane.	1991	2007	Weathertight, Draining	Limited review, 2004 & 2006.	Dismantle dormers and reconstruct.		X			60	
1e	Other, Chimneys	Terra cotta capped brick masonry.	Good	Missing finial on south-west cupola.	1901	Unlimited with maintenance.	Weathertight, Draining	None	Restore missing elements and repair open seams and breaches.		X			NA	
1f	Other, Skylights	Galvanized steel framed assemblies.	Fair	All units.	1991	2041	Weathertight, optically transparent.	Limited review, 2003, 2005.	No recommended action.					50	

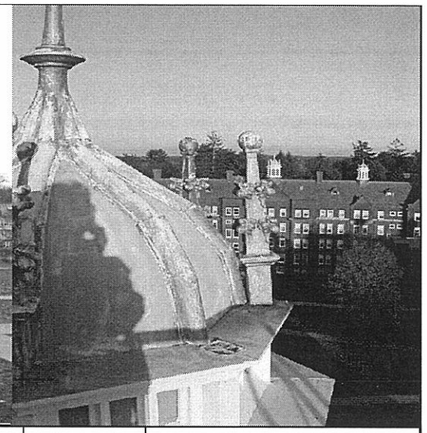
12 New England



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry Composite	Brick Masonry	Good	All elevations.	1901	Unlimited with maintenance.	Weathertight, structurally sound, clean	Restoration, 1991. Limited review, 2004.	Replacement		X			Unlimited with maintenance.	
2b		Limestone	Good		1901		Weathertight, structurally sound, clean	Restoration, 1991. Limited review, 2004.	Inspect/monitor annually, pinning or removing unstable regions locally as needed		X			Unlimited with maintenance.	
2c		Terracotta	Fair	All units.	1901		Weathertight, structurally sound.	Restoration, 1991. Limited review, 2004. Minor repairs, 2006.	Leaking gutter may have deteriorated ferrous armature, and intervention may be required.		X			Unlimited with maintenance.	
3	**Windows**														**Windows**
3a	Operable	Composite wood sashed, single-hung assemblies.	Fair-Poor	All units.	1901	Unlimited with maintenance.	Weathertight, optically transparent.	Restoration, 1991. Minor review, 2003.	Paint system renewal.		X			Unlimited with maintenance.	Coordinate with roof rehabilitation project.
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Main entrance	Limestone assembly featuring piece of Plymouth rock in door head surround.	Good	North elevation.	1901	Unlimited with maintenance.	Weathertight, structurally sound, aesthetically pleasing.	Restoration, 1991. Limited review, 2003	No recommended action.						

13 Davison House 1902

Architect	Allen & Vance	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Residence	Structural Drawings	Limited
Number of Floors	5 above, 1 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			



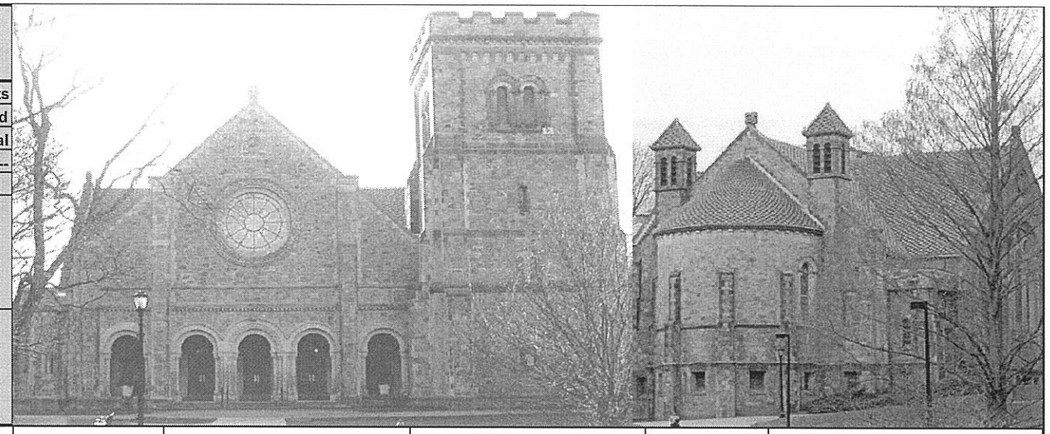
Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Pennsylvania black slates, numerous replacements.	Poor	All slopes.	1960	2010	Weathertight	Limited review and repairs, 2005.	Full roof replacement required with longer durability slate.		X			100+	Roof replacement needs to be coordinated with masonry rehabilitation project, including chimneys.
		Copper flashings and built-in gutter system.	Fair-Poor	All areas	1960	2010	Weathertight, Structurally Sound	Limited review and repairs, 2005.			X			60	
1b	Low Slope	Low-rise portion of building, presumably with coal tar system.	Fair	Localized area.	Unknown, presumed 1980	2010	Weathertight	None	Replace as part of a full roof rehabilitation.		X			Depends upon selected system.	
1c	Other, Chimneys	Five chimneys constructed with multii-wythe masonry and capped with bluestone. Multiple flue openings, some of which have been capped.	Fair-Poor	Deteriorated masonry from on-going exposure and trapped vapor from flue caps.	1902	2007	Clear, Weathertight, Structurally Sound	Limited review in 2004, and two stabilized with netting.	Full repointing of all chimneys and new flashing systems. Two require partial rebuild of top portion.		X			50+	Ideally, this work phased in advance of roof replacement project.
1d	Other, Dormers	Pennsylvania black slates, numerous replacements.	Poor	All slopes.	1960	2010	Weathertight	Limited review, 2005.	Replace slate with full roof replacement.		X				
1e	Other, Cupolas	Timber framed, louvered painted walls with painted terne cap.	Fair	Louvers leak, and finials have been falling off.	1902	Unlimited with maintenance.	Weathertight, Aesthetically pleasing.	Limited review, 2004.	Review conditions, and restore paint system. Secure or replace loose finials.		X				Unlikely all present components are original, and further investigation required.
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry.	Fair	Areas under gutters and coping stone mortar joints are open.	1902	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review in 2004, and stabilization in 2005.	Address roofing, then repoint affected areas. Remove coping stones and reset atop through-wall flashing.		X			Unlimited wih maintenance.	Improving the roof drainage system will decrease rate of deterioration.
		Brownstone trim elements: typical window lintels, coping stones, beltcourse.	Fair	Open mortar joints undermine weathertightness.	1902	Unlimited with maintenance.	Weathertight.	Limited review, 2004.	Seal cracks or replace unit to restore weathertightness.		X				
2b	Mass Masonry, Composite	Parapets: Brick masonry capped with brownstone.	Fair	Similar to chimneys, on-going exposure has deteriorated masonry. North-east parapet rebuilt, 2005.	1902	2006	Structurally stable.	Limited review, 2004, and rebuild of north-east, 2005.	Rebuild parapets to restore appearance and structural stability.		X			100+	

13 Davison House

Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
3	**Windows**														**Windows**
3a	Operable, single-hung.	Wood frame and sashes.	Fair	Window frames not sealed at perimeter, aesthetic concerns.	1980	2010	Weathertight, aesthetically pleasing.	None	Review window systems and replace with long service life option.		X	X		30	Windows appear to remain functional but are nearing end of service life.
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Mass Masonry, Composite	Main Quadrangle entrance: original brownstone elements, proesumed to be framed by brick piers.	Fair	Weathered appearance is aethetically displeasing.	1902	2006	Structurally stable, aesthetically pleasing.	Limited review, 2004 and 2006.	Rebuild 100%.		X			Unlimited with maintenance.	To be coordinated with plans for interior renovation of residence hall.
4b	Mass Masonry, Composite	Main Road entrance: original brownstone elements, new brick.	Excellent	Entire staircase rebuilt, 2005.	2005	2105	Structurally stable, aesthetically pleasing.	Rebuilt in 2005.	No recommended action.						
4c	Mass Masonry, Composite	Low-rise staircase: steel framed with concrete, brick, bluestone, and brownstone composite masonry.	Fair	Staircase partially rebuilt, but on-going deterioration and corrosion of steel.	1985	2015	Structurally stable, aesthetically pleasing.	Limited review, 2006.	Selective rebuild, replacement of staircase treads, localized masonry repairs.			X		40	Condition of staircase does not mandate immediate intervention, but may consider coordination of this rehabilitation within larger masonry program planned for 2009.

14 Vassar Chapel 1904

Architect	Shepley, Rutan & Coolidge	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Academic, Assembly	Structural Drawings	Minimal
Number of Floors	4 above, 1 below	Civil Drawings	---
Significance			
Architectural Characteristics			



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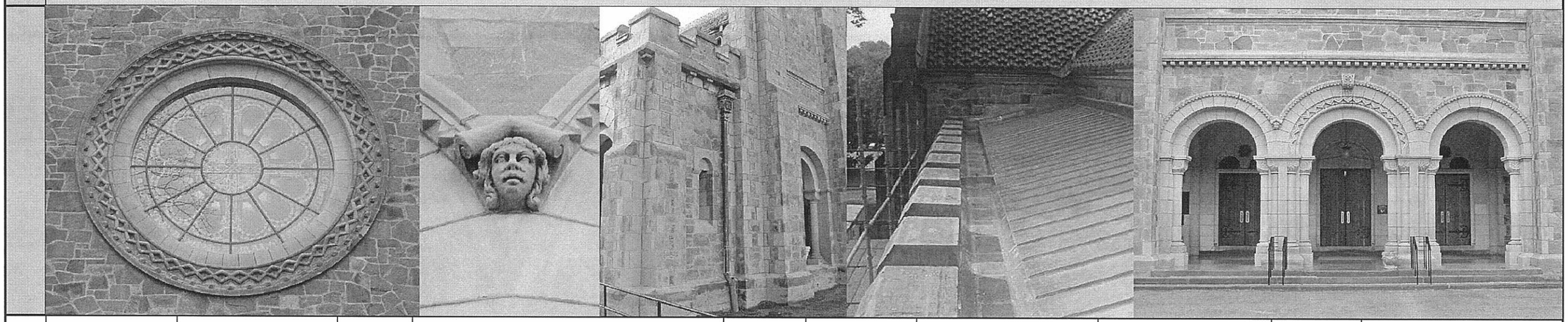
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Red Ludowici Conosera clay tiles	Good	All slopes.	1904	2054	Weathertight	Limited review and repairs, 2005.	Remove and salvage tiles to replace felts and flashings; reset tiles.		X			100+	Roof replacement needs to be coordinated with masonry rehabilitation project, including chimneys.
		Copper flashings and built-in gutter system.	Fair-Poor	All areas	1904	1979	Weathertight, Structurally Sound	Limited review and repairs, 2005.			X			60	
1b	Low Slope	Standard adhered EPDM	Fair	Tower	1990	2010	Weathertight	None	Replace with new roofing system.		X			Depends upon selected system.	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Cape Ann Granite with sandstone detailing	Good-Fair	Areas under gutters and coping stone mortar joints are open.	1904	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review in 2004, and stabilization in 2005.	Address roofing, then repoint affected areas. Remove coping stones and reset atop through-wall flashing.		X			Unlimited wih maintenance.	Improving the roof drainage system will decrease rate of deterioration.
		Sandstone trim elements: typical window lintels, coping stones, beltcourse.	Good-Fair	West elevation, north transcept, and east cloister (excluding tower).	1904	Unlimited with maintenance.	Weathertight.	Restoration in 2003 and 2004.	No recommended action.						
		Sandstone trim elements: typical window lintels, coping stones, beltcourse.	Good-Fair	All elevations except north transcept, west elevation, and east cloister.	1904	Unlimited with maintenance.	Weathertight.	Limited review, 2004.	Repoint, repair/replace heavily deteriorated stones and clean elevations.			X			
2b	Mass Masonry, Composite	Parapets: Cape Ann Granite capped with sandstone	Fair	Similar to chimneys, on-going exposure has deteriorated masonry. North-east parapet rebuilt, 2005.	1904	Unlimited with maintenance.	Structurally stable.	Limited review, 2004, and rebuild of north-east, 2005.	Rebuild parapets to restore appearance and structural stability.		X			100+	

14 Vassar Chapel



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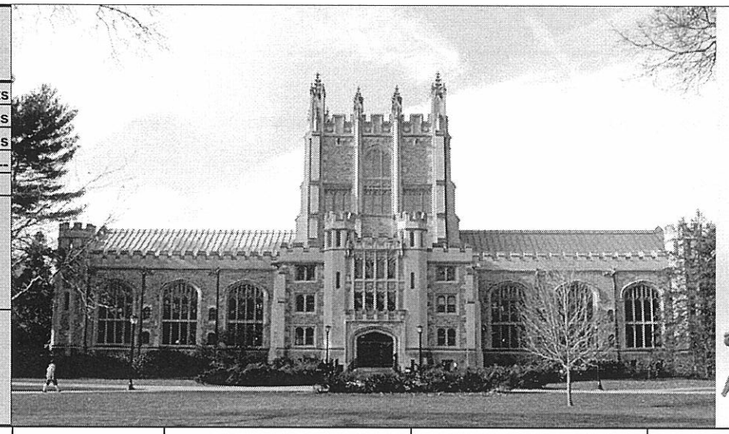
3	**Windows**														**Windows**
3a	Operable, single-hung.	Wood frame and sashes.	Fair	Window frames not sealed at perimeter, aesthetic concerns.	1904	2010	Weathertight, aesthetically pleasing.	none	Review window systems and replace with long service life option.		X	X		30	Windows appear to remain functional but are nearing end of service life.
3b	Miscellaneous Inoperable stained glass assemblies	Tiffany, Dodge & LaFarge glass with lead tracery	Good-fair	Tiffany & Dodge on East, LaFarge on West.	Various	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Limited review in 2004.	No recommended action.						
3c	Inoperable, Stained Glass "Rose" Window	Tiffany rose window with lead tracery	Excellent	North gable.	1904	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Full restoration of window including sandstone surround in 2003.	No recommended action.						
3d	Composite Operable & Inoperable leaded glass windows	Steel-framed, leaded glass windows	Excellent	West transcept	2004	2080	Weathertight, aesthetically pleasing.	Replacement in 2004.	No recommended action.						Rather than restoration, the leaded glass windows are typically restored by replacing the glass with similar.
3e	Composite Operable & Inoperable leaded glass windows	Steel-framed, leaded glass windows	Fair-Poor	East transcept	1904	2008	Weathertight, aesthetically pleasing.	Limited review in 2004, 2005, and 2006.	Replace assembly at end of service life, typically 80 years.		X				East transcept is showing signs of deterioration but does not yet represent a structural concern.
3f	Composite Operable & Inoperable leaded glass windows	Steel-framed, leaded glass windows	Fair-Poor	Various locations of façade	1904	2008	Weathertight, aesthetically pleasing.	Limited review in 2004.	Replace assemblies at end of service life.		X				A phased replacement program will minimize intrusion on the building occupants.
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Mass Masonry, Composite	Towers framing apse with louvers	Fair	All parts	1904	2006	Structurally stable, aesthetically pleasing.	Limited review, 2004.	TBD		X			Unlimited with maintenance.	

15 Frederick F. Thompson Memorial Library 1905/1918

Architect	Allen & Collens	Reference Documents	
Renovation Dates	2001	Architectural Drawings	Yes
Use	Library, Offices	Structural Drawings	Yes
Number of Floors	2-5 above, 1 below	Civil Drawings	---
Significance			
Architectural Characteristics			



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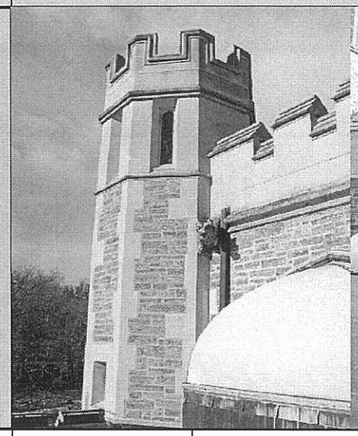
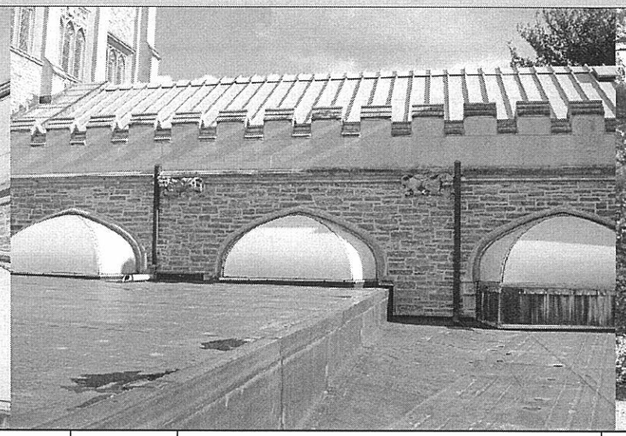
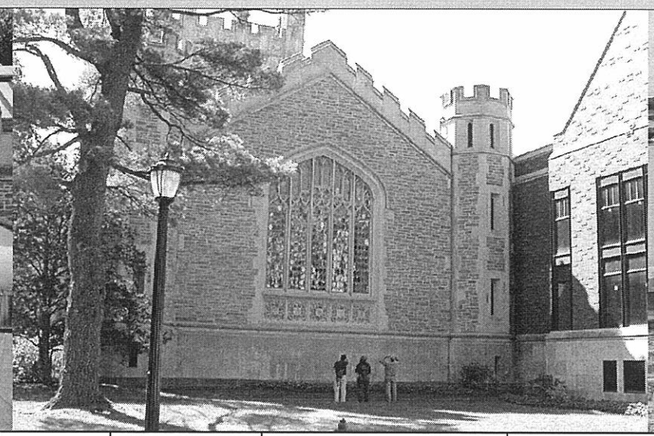
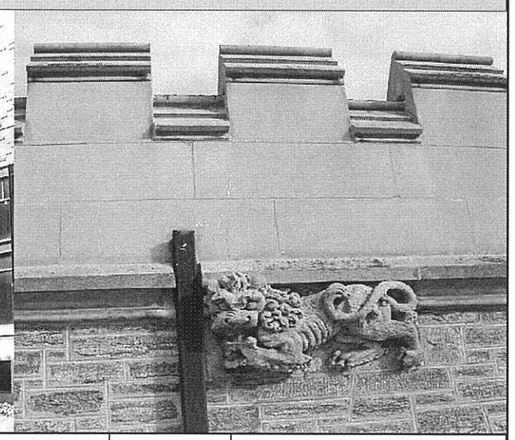
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Batten seam copper	Fair	All slopes	1968	2028	Weathertight	Limited review, 2004, 2005, 2006.	Repair/patch minor holes, deficiencies.	X				60	
		Multi-layers of built-up roofing protect built-in gutter	Poor	All slopes	1968	2007	Weathertight, draining.	Limited review 2004, 2005, 2006.	Replace in its entirety as part of gutter replacement program.	X				30	Original gutter system intended to be copper, but the configuration of the gutter makes watertight construction difficult and expensive.
1b	Low Slope	Built-up roof	Fair	Main tower	Unknown, multiple layers.	2009	Weathertight, draining.	Limited review in 2004.	Replace in their entirety with long durability-low maintenance system.		X			Depends upon selected system.	Periodic review and maintenance repairs required.
		Built-up roof and roofing cement.	Fair	Minor wing towers.	Unknown, multiple layers.	2009									
		Built-up roof	Fair	Main entrance	Unknown, multiple layers.	2009									
		Adhered EPDM	Excellent-Good	Interior spaces bounded by wings.	2001	2021	Weathertight, draining.	Limited review 2004.	No recommended action.					30	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: granite masonry.	Good	All areas.	1905/1918	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004.	No recommended action.					Unlimited with maintenance.	
		Typical walls: limestone trim elements.	Good	All areas.	1905/1918	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004.	No recommended action.						

15 Frederick F. Thompson Memorial Library

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3	**Windows**														**Windows**
3a	Fixed	Leaded glass in steel sashes, framed in limestone.	Good	General elevations.	Unknown, assumed 1905/1918	1975	Weathertight, aesthetically pleasing.	Limited review, 2004.	Review and restore windows as required.					80	Steel sashes, etc. require periodic maintenance, and painting every 10 years to remain in servicable condition.
3c	Fixed	Leaded or stained glass in limestone.	Good	General elevations.	Unknown, assumed 1905/1918	1975	Weathertight, aesthetically pleasing.							80	
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Entrances	Decorative limestone surround.	Excellent-Good	Main entrance	1905	Unlimited with maintenance.	Weathertight, secure, aesthetically pleasing.	Limited review, 2004.	No recommended action.					Unlimited with maintenance.	Periodic review and maintenance to maintain in serviceable condition.
		Bluestone staircase	Excellent		2001	2101	Functional, aesthetically pleasing.								

16 Jewett House 1907

Architect	Pilcher & Tachau	Reference Documents	
Renovation Dates	2003 (Herbert S. Newman)	Architectural Drawings	Limited
Use	Residence	Structural Drawings	Limited
Number of Floors	4 or 9 above ground, 1 below	Civil Drawings	---
Significance			
Architectural Characteristics			

Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations/ Repairs	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Standing seam copper with lead-coated copper built-in gutters.	Excellent	All slopes, both tower and low-rise	2003	2078	Weathertight	Full replacement during renovation in 2003.	No recommended action except periodic maintenance.					75	
		Copper flashings and hanging gutter system.	Excellent	All slopes	2003	2063	Weathertight, draining.	Full replacement during renovation in 2003.	No recommended action except periodic maintenance.					60	
1b	Low Slope	Ballasted EPDM.	Excellent	Link between low-rise and tower roof.	2003	2023	Weathertight, draining.	Full replacement during renovation in 2003.	No recommended action except periodic maintenance.					Depends upon selected replacement system.	
1d	Other, Skylights	Steel-framed assemblies.	Excellent	Low rise, east-west central section.	2003	2063	Weathertight, aesthetically pleasing.	Newly installed during 2003 renovation.	No recommended action except periodic maintenance.					60	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: brick masonry.	Good	All elevations.	1907	Unlimited with maintenance.	Weathertight, structurally sound.	Restoration of terra cotta and brick in 2003. New installation of bluestone cladding in 2003.	No recommended action except periodic maintenance.					Unlimited with maintenance.	
		Typical walls: terra cotta and bluestone trim elements.	Good			Unlimited with maintenance.	Weathertight, structurally sound.								Bluestone was added as cladding when site resloped for new entrances.
3	**Windows**														**Windows**
3a	Operable, single-hung	Wood frames and sashes with true divided lites.	Excellent	General elevations.	2003	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Full replacement during renovation in 2003.	No recommended action except periodic maintenance.					Depends upon selected replacement system.	Frames and sashes, etc. require periodic maintenance, and painting/sealing every 10 years to remain in servicable condition.
3b	Fixed	Leaded glass in painted wood frames and sashes.	Excellent	South, central elevation		2078									

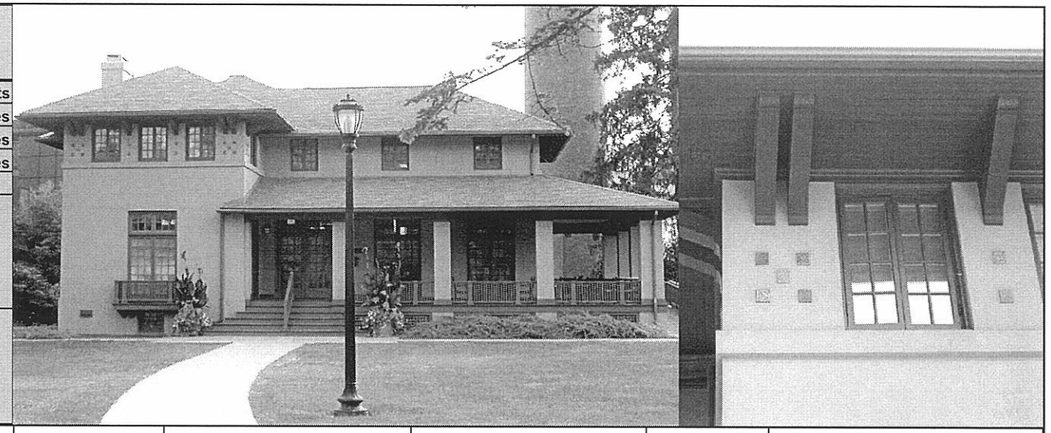
16 Jewett House

Item No.	Building Component	Original Description	Existing Condition	Condition Description			Goals	Investigations	Options	Priority- Recommended Intervention Time Frame				Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
4	(Other Building Components- as required)														(Other Building Components- as required)
4a	Entrances	Decorative Limestone Surround (Bluestone Pavers in some areas)	Very Good (Very Good)	South Main Entrance (Side Entrances)	1907 (2004)	Unlimited with maintenance (2105)	Weathertight, secure, aesthetically pleasing.	Limited Review 2002	No recommended action.						

17 Carol & James Kautz Admission House 1908

Architect	Pilcher & Tachau
Renovation Dates	1995 (Linda Yowell)
Use	Admission
Number of Floors	2 above ground; 1 below
Significance	
Architectural Characteristics	

Reference Documents	
Architectural Drawings	Yes
Structural Drawings	Yes
Civil Drawings	Yes



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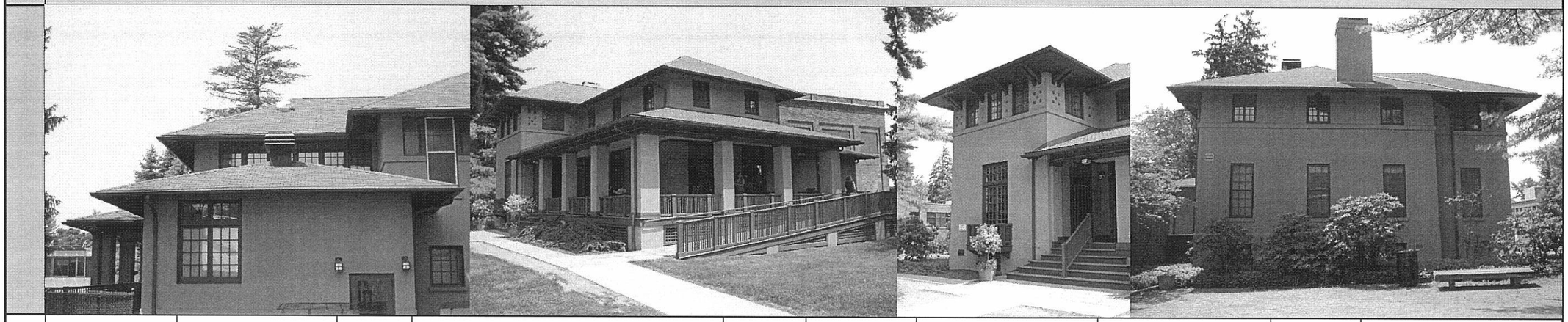
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Three-tab, asphalt shingles covering both multi-hip roof configuration and porch roof.	Good	All slopes	1995	2020	Weathertight	Limited review, 2003.	No recommended action except for periodic review and maintenance.				X	50	Replace asphalt shingles with longest-term durability shingles available at end of service life of present system.
		Aluminum gutters and accessories.	Good-Fair	All slopes	1995	2020	Weathertight, Structurally Sound, Draining.		Repair minor leaks in gutters.		X			60	Wide eaves are protecting building from gutter leaks.
1b	Other, Chimney	Brick masonry clad in cementitious stucco	Good	North slope	1908	Unlimited with maintenance.	Weathertight, Structurally Sound, Draining.		No recommended action.					Unlimited with maintenance.	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Brick masonry clad in cementitious stucco.	Good-fair	All elevations.	1908	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2003.	No recommended action.					Unlimited with maintenance.	
		Elastomeric coating	Excellent	All elevations.	1995	2010	Weathertight, aesthetically pleasing.								
		Decorative tiles embedded with cementitious stucco	Excellent	All elevations.	1995	Unlimited with maintenance.	Aesthetically pleasing.								

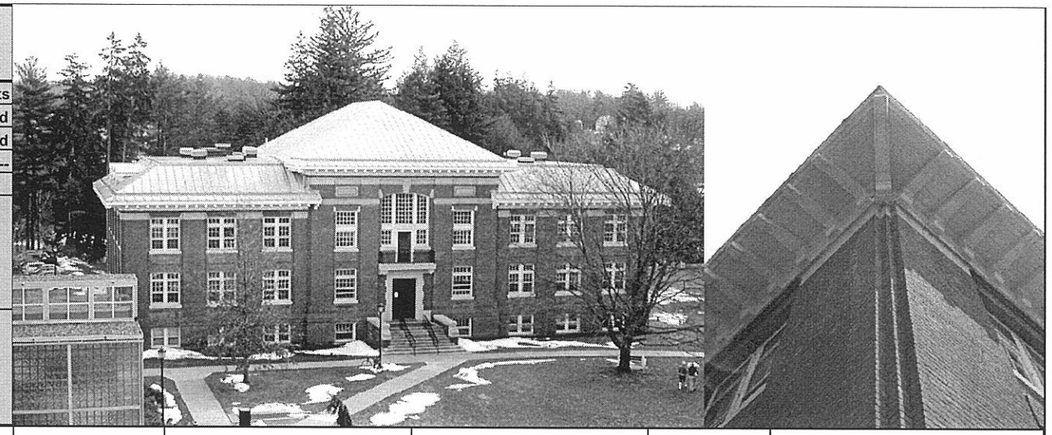
17 Carol & James Kautz Admission House



Item No.	Building Component	Original Description	Existing Condition	Condition Description: Item	Condition Description: Year of Installation	Condition Description: End of Service Life Year	Goals	Investigations	Options	Priority- Recommended Intervention Time Frame: 2007	2008-2010	2011-2016	2017+	Repair/ Replacement Anticipated Life (Yrs)	Recommendation/ Comments
3	**Windows**														**Windows**
3a	Fixed	Composite windows with true divided lites, wood.	Good	Ground floor, west elevation.	1995	2045	Weathertight, aesthetically pleasing.	Limited review, 2003.	No recommended action.					50	Pre-existing frames were reused and rehabilitated to accept new sashes
		Individual windows within punched openings with true divided lites, wood.	Good	Ground floor, east elevation.	1995	2045								50	
3b	Operable	Double-hung windows with true divided lites, wood.	Good	Ground floor, north elevation.	1995	2045								50	
		Awning with true divided lites, wood.	Good	Lower level, north and east elevations.	1995	2045								50	
		Casement with true divided lites, wood.	Good	Predominantly second floor, all but west elevation.	1995	2045								50	
		French Casement with true divided lites, wood.	Good	Predominantly second floor, all elevations.	1995	2045								50	
		Transom with true divided lites, wood.	Good	Ground floor, south elevation atop fixed.	1995	2045								50	
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Entrance	Composite doors with true divided lites, wood.	Good	Gound floor, west elevation	1995	2045	Weathertight, aesthetically pleasing.	Limited review, 2003.	No recommended action.						

18 Sanders Classroom 1909

Architect	Ewing & Chappelle	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Academic, Classrooms, Offices	Structural Drawings	Limited
Number of Floors	2 floors above; 0.5 below ground	Civil Drawings	---
Significance			
Architectural Characteristics			



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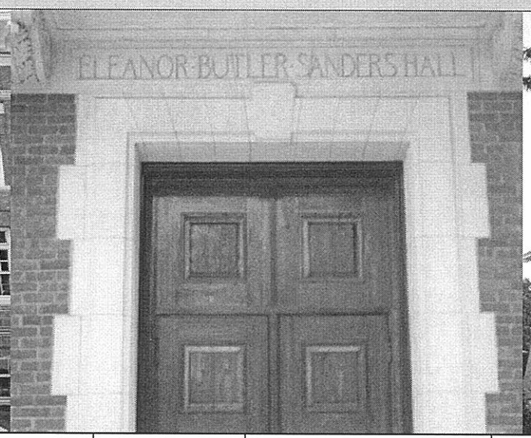
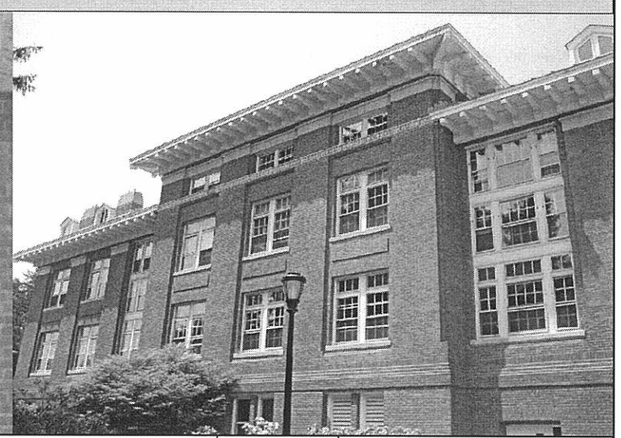
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
1	**Roof Construction**														**Roof Construction**
1a	Pitched Roof	Batten-seam lead/tin-coated steel (terne) with elastomeric coating	Fair-Poor	Elastomeric coating	1990	2008	Weathertight; draining	Limited review, 2004. Minor repairs, 2005.	Replace at end of service life.		X			75	Installation of coating has extended service life of perforated terne roof. For reduced maintenance, consider copper replacement.
				Hipped and mansard slopes.	1909										
1b	Low Slope	Fully adhered EPDM system	Excellent	Both areas.	1990	2010	Weathertight, aesthetically pleasing.	Limited review, 2004. Localized repairs, 2005.	Continue maintenance until roof replacement.	X	X			30	Original flat seam roof may still be under EPDM.
1c	Other, Gutter	Built-in, EPDM-lined.	Fair-Poor	All slopes.	1990	2010	Weathertight, Draining	Limited review, 2004. Minor repairs, 2005.	Continue maintenance until roof replacement.	X	X			50	Replace EPDM with copper lined system for enhanced durability.
1d	Other, Dormers	Flat-seam terne roofed dormers with an elastomeric coating.	Good-Fair	All dormers	1909	2008	Weathertight, Draining	Limited review, 2004 & 2006.	Replace roof systems when entire roof replaced.					60	
1e	Other, Chimneys	Stucco clad brick masonry with terra cotta flues.	Good-Fair	East elevation.	1901	Unlimited with maintenance.	Weathertight, Draining	None	Restore missing elements and repair open seams and breaches.		X			Unlimited with maintenance.	
1f	Other, Soffit	Painted wood with brackets.	Good-fair	All elevations.	1901	Unlimited with maintenance.	Weathertight.	None	No recommended action.					Unlimited with maintenance.	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry Composite	Brick Masonry	Good	All elevations.	1909	Unlimited with maintenance.	Weathertight, structurally sound, clean	Limited review, 2004.	No recommended action.					Unlimited with maintenance.	Wide soffit shields walls from direct water exposure.
2b		Limestone	Good												
3	**Windows**														**Windows**
3a	Fixed & Operable	Composite wood sashed, single-hung assemblies.	Good	All units.	1901	Unlimited with maintenance.	Weathertight, optically transparent.	Minor review, 2003.	Paint system renewal.		X			Unlimited with maintenance.	Coordinate with roof rehabilitation project.

18 Sanders Classroom





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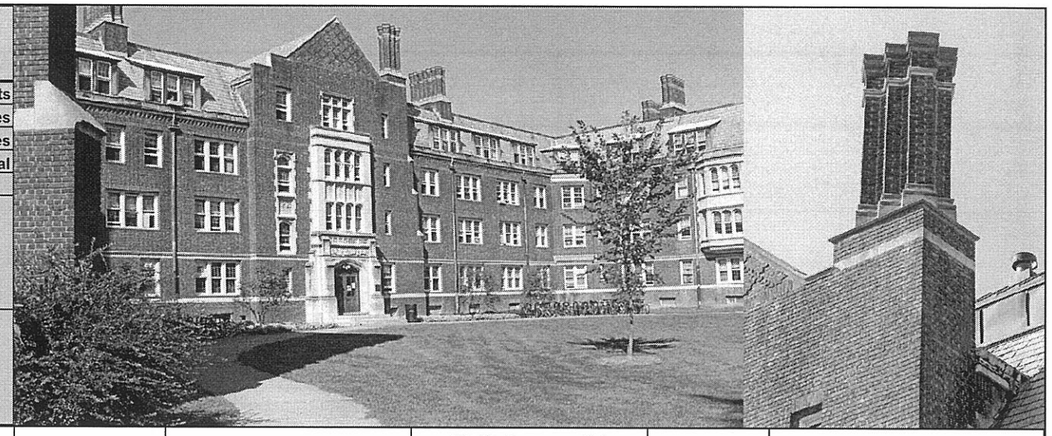
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
4	(Other Building Components- as required)														(Other Building Components- as required)
4a	Main entrance	Limestone assembly.	Good	West elevation.	1901	Unlimited with maintenance.	Weathertight, structurally sound, aesthetically pleasing.	Limited review, 2003	No recommended action.						

19 Olivia P. Josselyn House 1912

Architect	Allen & Collens	Reference Documents	
Renovation Dates		Architectural Drawings	Yes
Use	Residence	Structural Drawings	Yes
Number of Floors	2 above, 1 below ground	Civil Drawings	Minimal
Significance			
Architectural Characteristics			



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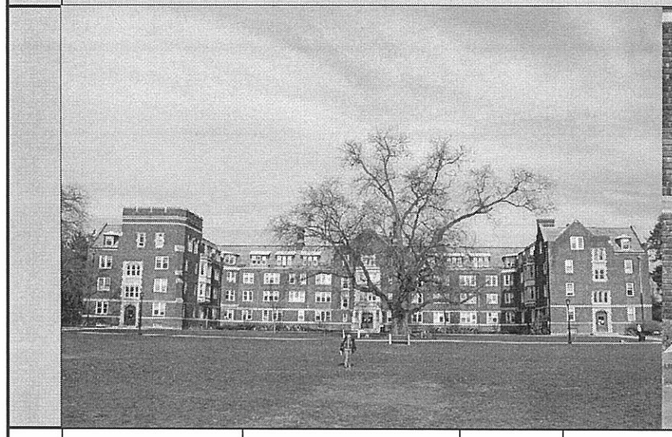
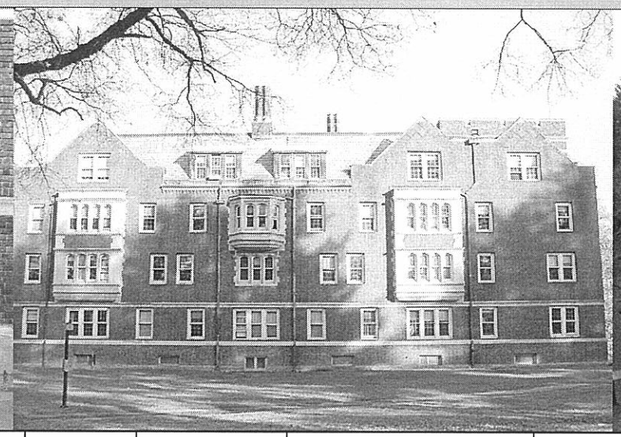
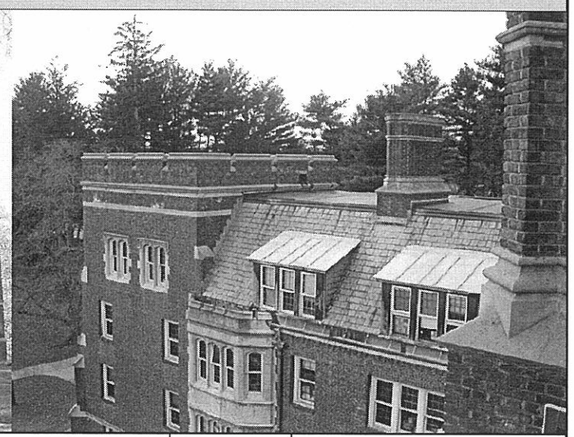
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
1	**Roof Construction**														**Roof Construction**
1a	Pitched	Higher sloped mansard, unfading green slate with uniform exposure.	Good-fair	All slopes	1912	2009	Weathertight	Minor review, 2003, and limited repairs in 2005, 2006.	Replace as part of roof rehabilitation program.		X			125+	
		Copper flashings and hanging gutter system.	Fair-Poor	All slopes	1912	2009	Weathertight, draining.	Minor review, 2003, and limited repairs in 2005, 2006.	Replace as part of roof rehabilitation program.		X			60	
1b	Low Slope	Adhered EPDM.	Fair	Central low slope areas and tower	1980	2009	Weathertight, draining.	Minor review, 2003, and repairs in 2005, 2006.	Replace as part of roof rehabilitation program.		X			Depends upon selected replacement system.	
1c	Other, Chimneys	Brick masonry with limestone trim elements.	Good-fair	All chimneys	1912	Unlimited with maintenance.	Weathertight, structurally sound.	Minor review in 2004.	Repoint and reseal as part of roof rehabilitation program.		X			Unlimited with maintenance.	
1d	Other, Dormers	Standing seam copper.	Fair	All slopes	1912	2009	Weathertight, draining.	Minor review, 2003, and repairs in 2005, 2006.	Replace as part of roof rehabilitation program.		X			60	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: brick masonry.	Good-fair	All elevations	1912	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2003, and minor repairs to remove life-safety spalls in 2004. Window lintel review in 2007.	Steel plates embedded in reinforced concrete window lintels are corroding and damaging masonry. Structurally reinforce, remove the plates, and restore the local masonry.		X			Unlimited with maintenance.	
		Typical walls: limestone trim elements.	Good			Unlimited with maintenance.	Weathertight, structurally sound.				X				

19 Olivia P. Josselyn House



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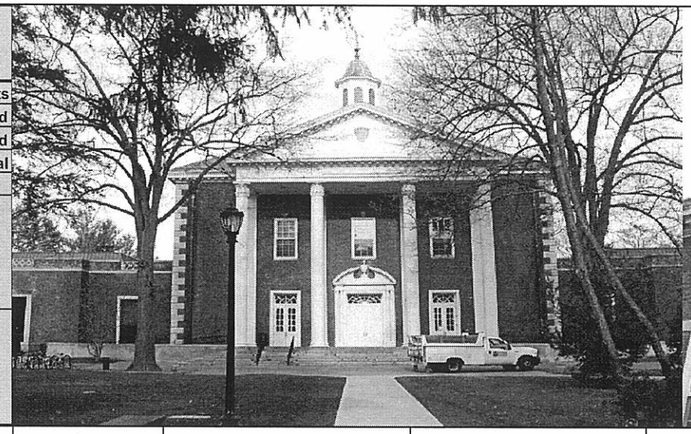
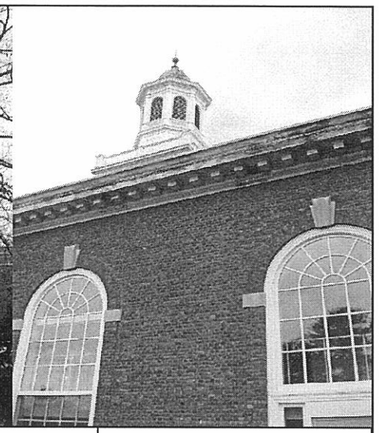
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
3	**Windows**														**Windows**
3a	Operable, single-hung	Leaded glass in painted wood frames and sashes.	Fair-poor	General elevations	1912	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Minor review, 2003.	Either repair windows during building envelope renewal program for 20 yrs, or replace with new units.		X			Depends upon selected replacement system.	Frames and sashes, etc. require periodic maintenance, and painting every 10 years to remain in servicable condition.
3b	Fixed	Leaded glass in painted wood frames and sashes.	Fair-Poor	General elevations							X				
4	**(Other Building Components- as required)**														**(Other Building Components- as required)**
4a	Entrances	Decorative limestone surround with granite base.	Good	South Main Entrance (Side Entrances)	1912	Unlimited with maintenance.	Weathertight, aesthetically pleasing.	Minor review, 2003.	No recommended action.						

20 Students' Building (All Campus Dining Center) 1913

Architect	McKim, Mead & White
Renovation Dates	1973
Use	Dining, Meeting spaces, Offices
Number of Floors	1-2 floors above; 0 below ground
Significance	
Architectural Characteristics	

Reference Documents	
Architectural Drawings	Limited
Structural Drawings	Limited
Civil Drawings	Minimal





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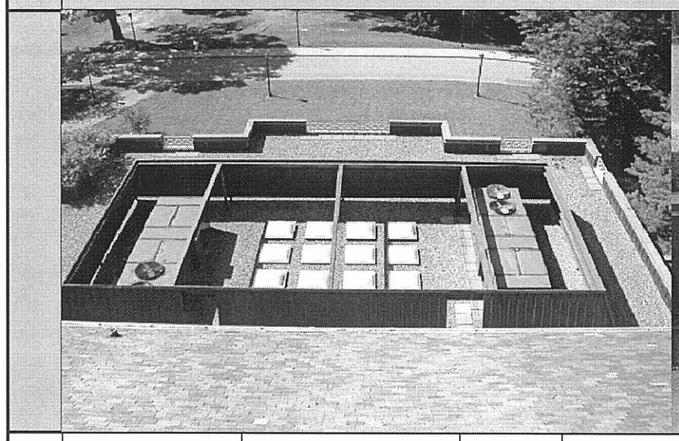
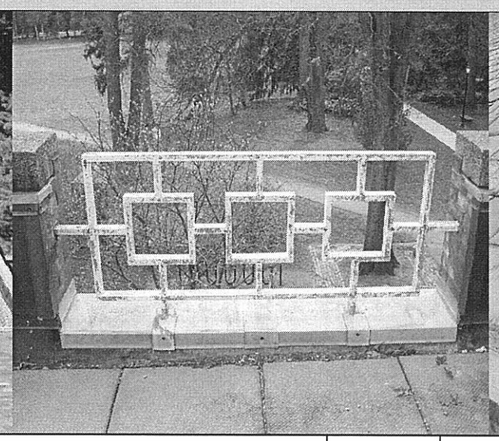
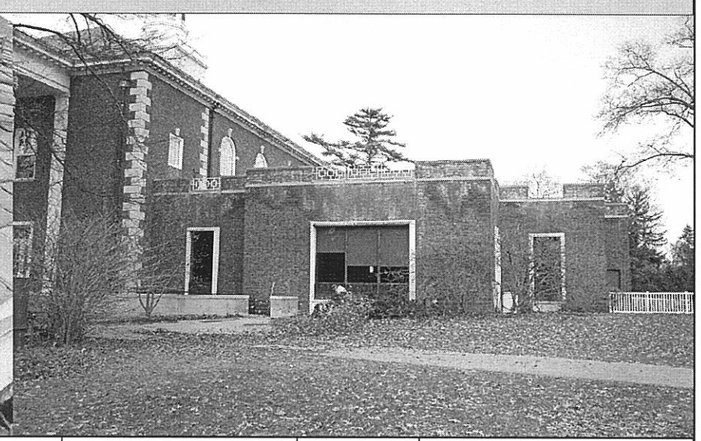
1	**Roof Construction**														**Roof Construction**
1a	Pitched Roof	Vermont purple and green slate roof areas	Fair-Poor	Hipped main roof Gabled portico roof.	1913	2009	Weathertight; draining	Limited review, 2003. Minor repairs, 2005.	Continue repair of cracked and missing slates until roof replacement.			X		125+	
1b	Other, Gutter	Built-in	Fair-Poor	All slopes.	1913	2009	Weathertight, Draining	Limited review, 2003. Minor repairs, 2005.	Replace with new roof.			X		50	
1c	Other, Soffit	Painted wood with brackets.	Fair	All elevations.	1913	Unlimited with maintenance.	Weathertight.	None	Rehabilitate during roof replacement.			X		Unlimited with maintenance.	
1d	Other, Cupola	TBD		Central hip roof.	1913	Unlimited with maintenance.	Weathertight, structurally sound.	None	Restore during roof replacement project.			X		Unlimited with maintenance.	Consider restoring cupula prior to implementing roof project.
1e	Low Slope	Ballasted EPDM	Fair	West and east additions, loading dock.	1995	2010	Weathertight; draining.	None	Replace when slate roof repkaced.			X		30	
1f	Parapet	Multi-wythe brick assembly, capped in precast concrete. Through-wall flashed with rainscreen.	Fair-Poor	West and east additions.	1973	Unlimited with maintenance.	Weathertight; draining.	Limited review, 2003.	Rehabilitate flashing details with localized rebuild to address water infiltration concerns.	X				Unlimited with maintenance.	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry Composite	Brick Masonry Limestone	Good Good	All original building elevations.	1926	Unlimited with maintenance.	Weathertight, structurally sound, clean	Limited review, 2003.	No recommended action.					Unlimited with maintenance.	
2b	Cavity Wall	Brich veneer with concrete trim elements.	Good	All wing elevations.	1973	Unlimited with maintenance.	Weathertight, structurally sound, clean	Limited review, 2003.	Refurbish with parapet rehabilitation.	X				Unlimited with maintenance.	
3	**Windows**														**Windows**
3a	Fixed	Extruded aluminum framed assemblies.	Good	All units.	1973	Unlimited with maintenance.	Weathertight, optically transparent.	Minor review, 2003.	No recommended action.					Unlimited with maintenance.	

20 Students' Building (All Campus Dining Center)



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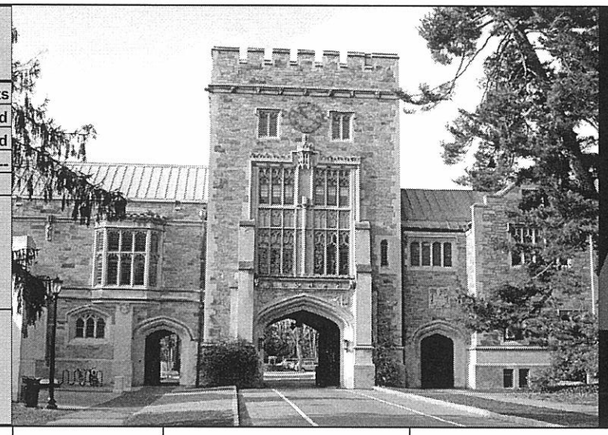
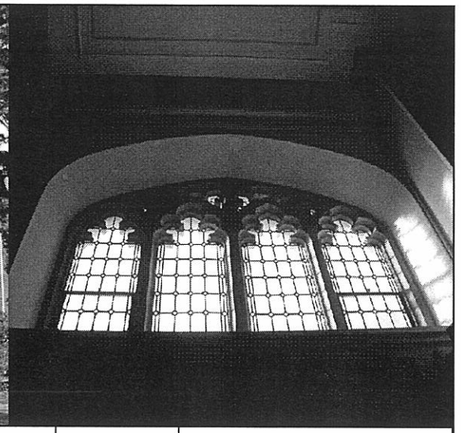
				Item	Year of Installation	End of Service Life Year				2007	2008-2010	2011-2016	2017+		
4	(Other Building Components- as required)														(Other Building Components- as required)
4a	Main entrances	Portico	Good-Fair	South elevation columns.	1913	Unlimited with maintenance.	Weathertight, structurally sound, aesthetically pleasing.	Limited review, 2003. Repairs, 2004.	Complete renewal of paint system for entire portico.	X					East-most column was banded with glass-fiber reinforced composite membrane strips to restore structural integrity.

21 Taylor Hall 1915

Architect	Allen & Collens	Reference Documents	
Renovation Dates		Architectural Drawings	Limited
Use	Main Entrance--Guard station, Offices	Structural Drawings	Limited
Number of Floors	2-3 Above; 1 Below Ground	Civil Drawings	---
Significance			
Architectural Characteristics			





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1	**Roof Construction**														**Roof Construction**
1a	Pitched Roof	Batten seam copper system; presently coated with elastomeric system.	Poor	All slopes.	1915	1990	Weathertight	Limited review 2004.	Replace as part of full roof restoration.			X		75	Complete as part of comprehensive envelope restoration.
		Copper flashings.	Fair		1915	1990						X		60	
1b	Low Slope	Unknown but presumed to be coal tar pitch.	Fair	All areas	1960	2010	Weathertight, Draining	None				X		40	
2	**Exterior Walls Construction**														**Exterior Wall Construction**
2a	Mass Masonry, Composite	Typical walls: Dressed granite with brick backup.	Fair	Weathered mortar joints permits water to enter façade and cause damage to interior finishes.	1915	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004.	Repoint in areas under limestone decorative courses.			X		100+	Complete as part of comprehensive mini-envelope restoration
		Typical walls: Limestone trim elements	Poor	Mortar joints open, especially coping stones.	1915	Unlimited with maintenance.	Weathertight, structurally sound.	Limited review, 2004.	Repoint 100% to reduce water infiltration.			X		50+	
3	**Windows**														**Windows**
3a	Fixed	Zinc-leaded glass in steel sashes and frames.	Fair	Isolated and rare broken lite in assemblies.	1915	2011	Weathertight, Structurally stable	Limited review, 2004	Restore or replace entire assemblies with broken lites.			X		90	Zinc, as a leading material is stronger and less susceptible to planar deflection than lead. However, given its higher strength and stiffness, it is harder to replace individual broken lites. As such, entire window sections must be undertaken to be cost-effective.
3b	Operable, Casement	Zinc-leaded glass in steel sashes and frames.	Fair	Isolated and rare broken lite in assemblies.	1915	2011	Weathertight, Structurally stable.	Limted review, 2004.	Restore or replace entire assemblies with broken lites.			X		90	