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THE CITY OF NEW YORK  
**DEPARTMENT OF HOUSING PRESERVATION & DEVELOPMENT**  
OFFICE OF DEVELOPMENT

# **SARATOGA SQUARE**

**URBAN  
RENEWAL  
PROJECT**

**URBAN RENEWAL PLAN**

**MARCH 1992**

★★

THE CITY OF NEW YORK  
DEPARTMENT OF HOUSING PRESERVATION AND DEVELOPMENT  
OFFICE OF DEVELOPMENT

SARATOGA SQUARE  
URBAN RENEWAL PROJECT

Brooklyn  
Community District Nos. 3 and 16

URBAN RENEWAL PLAN

March 1992

SARATOGA SQUARE URBAN RENEWAL PLAN

History of Prior Approvals

Original Urban Renewal Plan (January 1990)

City Planning Commission: March 16, 1992 (C 910243 HUK)

City Council: April 28, 1992 (Reso. 534)

Mayor: August 7, 1992 (Cal. No. 90)

SARATOGA SQUARE  
URBAN RENEWAL PLAN  
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- EXHIBIT A: PROJECT BOUNDARY DESCRIPTION
- EXHIBIT B: PROPERTIES ACQUIRED AND TO BE ACQUIRED

MAPS

- MAP 1: PROJECT BOUNDARY, dated March 1992
- MAP 2: LAND USE PLAN, dated March 1992

## SECTION A:

### DESCRIPTION OF URBAN RENEWAL AREA

The Saratoga Square Urban Renewal Area is located in Community Districts 3 and 16, in the Borough of Brooklyn. The general boundaries are Bainbridge Street on the north, Rockaway Avenue on the east, Atlantic Avenue and Fulton Street on the south, and Ralph Avenue on the west.

The overall area of the urban renewal project consists of Tax Blocks 1508, 1509, 1513, 1514, 1515, 1516, 1518, 1519, 1520, 1521, 1524, 1525, 1526, 1527, 1530, 1531, 1532, 1533, 1536, 1537, 1538, 1541, 1548, 1549, 1556, 1557, 1558, 1559, 1560 and 1561.

The site boundaries comprising the Urban Renewal Area are shown on Map 1, Project Boundary, dated MARCH 1992 and are described in Exhibit A, Project Boundary Description.

The following conditions adversely affect the quality of life in the Plan area and its immediate vicinity:

1. Vacant, unfenced and unsanitary lots.
2. Incohesive neighborhood.
3. Vacant lots inviting garbage dumping.
4. Infestation of rats and vermin.

SECTION B:

STATEMENT OF DEVELOPMENT OBJECTIVES

The Plan proposes new low-rise, low-density housing, as well as the development of commercial and community facilities, where feasible and in conformance with the existing zoning. It is expected that renewal activities in this Urban Renewal Area will encourage the upgrading of housing quality in its immediate vicinity.

Specifically, the Plan proposes:

1. Removal of impediments to land assemblage and development.
2. Provision of new housing, built to high standards of design, privacy, light, air and open space.
3. Rehabilitation of vacant and occupied residential buildings to preserve existing housing, wherever feasible.
4. Provision of new commercial uses to support the housing component.
5. Refurbishment and expansion of existing parks, and development of a new passive recreational area.

SECTION C:

DEVELOPMENT PLAN

1. LAND USE MAP

The attached Map 2, Land Use Plan, dated MARCH 1992, locates the projected land uses in the Urban Renewal Area.

2. LAND USE PROVISIONS AND BUILDING REQUIREMENTS

The meaning of the technical terms used in this Plan to establish the controls on development including the permitted use of redevelopment parcels, limits on building bulk, and required off-street parking and loading etc., shall be as defined in the Zoning Resolution of The City of New York. The Zoning Resolution referred to in this Urban Renewal Plan is the Comprehensive Amendment to the Zoning Resolution of The City of New York as published in the City Record on November 10, 1960 and approved by resolution of the Board of Estimate on December 15, 1960, as amended. In any case in which a specific control of the Urban Renewal Plan conflicts with a provision of the Zoning Resolution, the more restrictive of the two shall govern.

a. Permitted Land Uses

As shown on Map 2, Land Use Plan, the following uses shall be permitted:

Residential, Public and/or Semi-Public, Public Open Space and Industrial uses as defined below.

SECTION C:

DEVELOPMENT PLAN (continued)

a. Residential

Residential, community facility and recreational uses as permitted in R5 or R6 zoning districts, as well as commercial uses as permitted by zoning.

b. Public and or Semi-Public

Permitted uses shall include those specified in Use Groups 3 and 4 of the aforementioned Zoning Resolution, together with appurtenant parking facilities. Such uses shall include, but not be limited to: libraries, elementary and secondary schools, child care and health facilities, churches and church sponsored and related facilities.

c. Open Space

Permitted uses shall be for playgrounds, parks and similar open space available for public recreational purposes.

d. Industrial

All permitted uses in an M1-1 zone with the exception of Use Groups 15 and 16.

b. Additional Regulations, Controls and Restrictions

(1) Design Objectives and Controls

Building bulk, including floor area, open space, height and setback requirements, and parking requirements shall be as required by the Zoning Resolution as amended.



SECTION C:

DEVELOPMENT PLAN (continued)

It is the intent of this plan that the Urban Renewal Area shall be developed in a manner compatible with the surrounding residential area of low-rise housing.

The Department of Housing Preservation and Development (HPD) shall have the right to review and approve the developer's proposals as set forth in Section E.

(2) Environmental Controls

All projects are subject to the requirements of Part 617 of The New York State Environmental Quality Review Act of 1976. This Act is implemented in the City by Executive Order 91 of 1977, City Environmental Quality Review (CEQR).

Federally funded projects are also subject to the National Environmental Policy Act (40 CFR 1500-1508). For projects funded by The Department of Housing and Urban Development, the implementing Regulations are 24 CFR Part 50 or, for CD programs, in 24 CFR Part 58. As noted in the above regulations, the Federal environmental review process must also consider, where applicable, the criteria, standards, policies and regulations of the following: noise impact, historic properties, flood plains, wetlands, coastal zones, air quality, water quality, wildlife, endangered species and solid waste.

SECTION C:

DEVELOPMENT PLAN(continued)

3. DURATION OF LAND USE PROVISIONS AND BUILDING REQUIREMENTS

The foregoing land use provisions and building requirements of the Urban Renewal Plan shall remain in effect for a period of forty (40) years from the date of the approval of this Urban Renewal Plan by the City Council of The City of New York except as provided in Section G hereunder.

SECTION D:

PROPOSED RENEWAL ACTIONS

1. LAND ACQUISITION

All properties within the project area which are to be acquired for renewal pursuant to the Urban Renewal Law are listed in Exhibit B, Properties Acquired and/or To be Acquired, and are shown on Map 1, Project Boundary Map.

2. RELOCATION

There is a feasible method for the relocation of families and individuals displaced from sites acquired pursuant to the terms and conditions of the urban renewal plan into decent, safe and sanitary dwellings, in areas not generally less desirable in regard to public utilities and public and commercial facilities, at rents or prices within the financial means of such families or individuals, and reasonably accessible to their places of employment.

The Department of Housing Preservation and Development can and will relocate site occupants in compliance with all applicable Laws and Regulations, including Section 505, sub-section 4 (e) of Article 15 of the General Municipal Law. Tenants on sites subject to Federal funding, if any, will alternatively receive benefits and services pursuant to the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970.

Commercial tenants on sites now owned by The City of New York or to be acquired will be relocated by the Department of Housing

SECTION D:

PROPOSED RENEWAL ACTIONS (continued)

Preservation and Development with the assistance of the Office of Business Development.

3. DEMOLITION AND/OR REHABILITATION

The Department of Housing Preservation and Development shall perform all demolition and site clearance for new development in accordance with the objectives and requirements of this Urban Renewal Plan. Acquired improved properties that are found to be financially feasible to rehabilitate may be rehabilitated.

4. LAND DISPOSITION

Properties acquired shall be disposed of for redevelopment in accordance with this plan, including the provisions set forth in Section E thereof.

5. PROPOSED PROGRAM OF CODE ENFORCEMENT

Applicable laws, codes, ordinances and regulations of The City and State of New York shall apply to this Urban Renewal Area.

6. STREET MODIFICATIONS

Any street closing and mapping of new streets shall be contingent upon approval of all agencies involved. However, no street modifications are proposed at this time.

7. UTILITIES

All utilities shall be underground. Sewers, waterlines and street lighting will be installed as required.

SECTION E:

REDEVELOPER'S OBLIGATIONS

1. REGULATIONS AND CONTROLS TO BE IMPLEMENTED BY RECORDABLE AGREEMENTS

The regulations and controls set forth in Section C, Development Plan and Section D, Proposed Renewal Actions, will be implemented, wherever applicable, by appropriate covenants or other provisions and agreements for land disposition and conveyance, executed pursuant thereto.

2. LAND USE RESTRICTION

The redeveloper shall devote the land solely to the uses specified in this Urban Renewal Plan.

3. NON - DISCRIMINATION

No covenant, lease, agreement, conveyance or other instrument shall be effected or executed by The City of New York or by a redeveloper or any of his successors or assigns, whereby land in the project area is restricted upon the basis of race, creed, color, gender, national origin, sexual orientation or affectional preference. Appropriate covenants running with the land, which will prohibit any such restrictions, shall be included in the disposition instruments.

4. DESIGN REVIEW

Site plans, architectural drawings, outline specifications, and schedules of materials and finishes for the construction of improvements on the land, all in sufficient detail to permit

SECTION E:

REDEVELOPER'S OBLIGATIONS (continued)

determination of compliance with the intent and controls of this Urban Renewal Plan and the design and character of proposed construction, shall be subject to review and approval of the Department of Housing Preservation and Development and shall be submitted by each redeveloper prior to commencement of construction. Any material changes proposed after receipt of such approval by the Department of Housing Preservation and Development shall also be subject to such review and approval. Final working drawings shall be submitted before construction begins, and as-built drawings shall be submitted to the Department of Housing Preservation and Development after construction for final determination of compliance.

5. RESTRICTION ON TRANSFER PRIOR TO COMPLETION

The redeveloper of project land shall not sell, lease, or otherwise transfer such land at any time prior to completion of the redevelopment thereof, without the prior written consent of the Department of Housing Preservation and Development except as set forth in the agreement or lease between The City of New York and the respective redeveloper.

SECTION E:

REDEVELOPER'S OBLIGATIONS (continued)

6. COOPERATION WITH HPD

The redeveloper shall expeditiously submit all documents required by the Department of Housing Preservation and Development for the approval and processing of the development project including, but not limited to Application for Sponsorship (Form Dev-2), Plan and Project or Project Summary and the Land Disposition Agreement.

7. COOPERATION WITH OTHER CITY AGENCIES

The redeveloper shall cooperate fully with the appropriate City agencies in realizing the specific objectives of this Plan. It is particularly important to ascertain, as early as possible, the requirements of the City Department of Transportation with regard to any improvements that may be required for the street(s) providing access to the project.

8. CERTIFICATE OF COMPLETION

As built drawings shall be submitted to the Department of Housing Preservation and Development after construction for final determination of compliance and issuance of a Certificate of Completion.

SECTION F:

OTHER PROVISIONS NECESSARY TO MEET STATE AND LOCAL REQUIREMENTS

The following statement is set forth to indicate compliance with Article 15 of the General Municipal Law of The State of New York, and, more particularly, Section 502, subdivision 7 thereof:

1. STATEMENT OF PROPOSED LAND USES

See Section C of this Urban Renewal Plan.

2. PROPOSED LAND ACQUISITION, DEMOLITION AND REMOVAL OF STRUCTURES

See Section D of this Urban Renewal Plan.

3. PROPOSED ACQUISITION OF AIR RIGHTS AND CONCOMITANT EASEMENTS OR OTHER RIGHTS OF USER

Not Applicable

4. PROPOSED METHODS OR TECHNIQUES OF URBAN RENEWAL

See Section D of this Urban Renewal Plan.

5. PROPOSED PUBLIC, SEMI-PUBLIC, PRIVATE, COMMUNITY FACILITIES OR UTILITIES

No significant adjustments or improvements in utilities, except as set forth in Section D, are contemplated. No changes are proposed in community facilities.

6. PROPOSED NEW CODES AND ORDINANCES AND AMENDMENTS TO EXISTING CODES AND ORDINANCES

No new codes or ordinances are anticipated for the effectuation of this Urban Renewal Plan, however, amendments to the Zoning Map are anticipated to permit development of certain sites.



SECTION F:  
OTHER PROVISIONS NECESSARY TO MEET STATE AND LOCAL REQUIREMENTS  
(continued)

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7. PROPOSED PROGRAM OF CODE ENFORCEMENT

See Section D.5 of this Plan.

8. PROPOSED TIME SCHEDULE FOR THE EFFECTUATION OF THIS PLAN:

	<u>Estimated Starting Date</u>	<u>Estimated Completion Date</u>
a. Land Acquisition	May 1993	May 1993
b. Relocation of Site Occupants	June 1993	June 1998
c. Demolition and Site Clearance	July 1993	August 1998
d. Disposition of of Land in the Project Area	September 1993	September 1998
e. Site Preparation and Construction	October 1993	October 1998
f. Estimated Date of Completion of Project	--	October 2000



SECTION G:

PROVISIONS FOR MODIFYING PLAN

1. AMENDMENTS

This Urban Renewal Plan may be amended at any time by The City of New York pursuant to Section 505 of Article 15 of the General Municipal Law of The State of New York and Section 197-c of The New York City Charter.

2. MINOR CHANGES

Where, owing to special conditions, literal enforcement of the restrictions in regard to the physical standards and requirements set forth in Section C of this Urban Renewal Plan would result in unnecessary hardship, involve practical difficulties, or would constitute an unreasonable limitation beyond the intent and purpose of these restrictions, the Department of Housing Preservation and Development shall have the power, upon appeal in specific cases, to authorize such minor changes of the terms of these restrictions as conform with the intent and purpose of this Urban Renewal Plan, provided that no variations or modifications shall be permitted which are less restrictive than applicable State and Local Codes and Ordinances, and provided further that concurrence is obtained from the City Planning Commission.

3. SUBDIVISION OF PARCELS

The subdivision of a development parcel shall be permitted without review or approval by the City Planning Commission provided that HPD finds and states in writing that (i) the site plan complies with the intent and provisions of the Urban Renewal

SECTION G:

PROVISIONS FOR MODIFYING PLAN (continued)

Plan and (ii) the unused portion of the development parcel is marketable and developable in accordance with the Plan and the applicable laws and statutes. The Urban Renewal Plan, as modified, indicating such subdivision including any related exhibits shall be filed with the Department of City Planning for information purposes.

EXHIBIT A

BOUNDARY DESCRIPTION

Beginning at the corner formed by the intersection of the westerly line of Ralph Avenue, with the northerly line of Bainbridge Street;

Running thence easterly, along the northerly line of Bainbridge Street to the easterly line of Saratoga Avenue;

Thence southerly, along the easterly line of Saratoga Avenue to the northerly line of Chauncey Street;

Thence easterly, along the northerly line of Chauncey Street to the easterly line of Rockaway Avenue;

Thence southerly, along the easterly line of Rockaway Avenue to the southerly line of Fulton Street;

Thence westerly, along the southerly line of Fulton Street to the easterly line of Saratoga Avenue;

Thence southerly, along the easterly line of Saratoga Avenue to the northerly line of Atlantic Avenue;

Thence westerly, along the northerly line of Atlantic Avenue to the westerly line of Ralph Avenue;

Thence northerly, along the westerly line of Ralph Avenue to the point or place of beginning.

The above described area is located in the Borough of Brooklyn, County of Kings, City and State of New York.

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
1	1508	8
2	1508	74
3	1508	61,62
4	1508	54
5	1509	3
7	1509	47
8	1509	43
9	1513	8
10	1513	15*,16*,17,18*,19+,20*,21*, 22*,23,24
11	1513	58,59,60
12	1513	50,53,54
13	1513	26,27
14	1513	45*
16	1513	30,31,32
18	1514	1,3
20	1514	59

\*Not in City - Ownership

+Not to be demolished pursuant to City Action

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
21	1514	10
23	1514	19,20,22,23,24,32,33,34,35 36*,37,38,39,41*,42*,43*,44*, 45,46,47,48,49,50,53,54,55, 56,151
24	1514	124
25	1514	125
27	1515	8,9,10
28	1515	6
29	1515	3
31	1515	76
32	1515	75
33	1515	13*,14,72,73
34	1515	16*
35	1515	63
36	1515	59,60
37	1515	32,33,34
38	1515	50
39	1515	39,40,47*,48

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
40	1516	1,2,56,66,67,68,69,70,72
41	1516	22
42	1516	49,50,51,52,53,54,55
43	1516	47
44	1516	36
45	1518	29*,31*,33,35,38,39,40*,42*, 43,44
46	1519	1,3,66,67
47	1519	65
48	1519	63
49	1519	14
50	1519	17
51	1519	19*,20*,57*,58,59,60
52	1519	22,23
53	1519	51,52
54	1519	29*,28*
55	1519	30*
56	1519	34
57	1519	36*,37,38,39,40,42,43,44
58	1520	1

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
59	1520	5*,6,9,10,11,12,13,14*,15,16, 17,18*,19,20*,21*,22*,29,57, 58*,59,60,61*,62*,65,66*,75, 76,77
60	1520	8*
61	1520	69*
62	1520	23*
63	1520	28
64	1520	49*
65	1521	3,4,5,6,7,8
66	1521	1
67	1521	12*
68	1521	73*
71	1521	59*,60*,63,64,160*
72	1521	30
73	1521	53*,54*
74	1521	39
76	1524	6*,7,8,9,10,11,12,13,14*,15, 16,17,18,19,20,22,23*,25*

\*Not in City - Ownership



EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
77	1524	58,59,60*
78	1524	54
79	1524	51,52
80	1524	45,46,47,48,49
81	1524	43
82	1524	29
83	1525	5
84	1525	2
85	1525	10
86	1525	11
87	1525	12,13
88	1525	63*,64*
89	1525	16
90	1525	58*,59*,60*,61*
91	1525	19
92	1525	56
93	1525	22,23,24,25,26,45,46*, 47*,48,49,50,51,52*,53,54
94	1525	31,32,33
95	1525	36,37,39,40,41

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
96	1526	1
97	1526	9,10,11,12,13,14,15,16,116, 17,18,19,20,50,52,53,54*,56* 57*,58,60,61
98	1526	46
99	1526	23,24,25*
100	1526	35,36*,37*,38*,39,40*
101	1526	28
102	1526	130
103	1526	33
104	1527	10
105	1527	7,8,9*
106	1527	4*
107	1527	3
108	1527	1
110	1527	15,16,17,117,18*,56,57,58*,59
111	1527	61
112	1527	22
113	1527	24

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
114	1527	50,51,52*,53
115	1527	32*
116	1527	34*,35*,36*,37*,38,40,46
118	1531	65
119	1531	60*,61*,62*
120	1531	14*,15,53,54,55,56
121	1531	17
122	1531	52*
123	1531	20,21,22,24,26,38*,45,46*,47,48*, 49*
124	1531	25
126	1531	30,31
127	1532	1,2,3,4,5,6*,7,8*,9,10,11,111, 12,13,62,63*,64*,65,66*,67,68*, 69,70,71,72,73
128	1532	46,47,48,49,50*,57
129	1532	24
130	1532	29
131	1532	36,39*,40,41*,42,43*
132	1532	38

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
133	1533	1*,3*,4*,5*,6*,7*,8*,10
134	1533	12
135	1533	14,15,16
136	1533	62*,63,64,65,66,67
137	1533	18,19
138	1533	22
139	1533	24
140	1533	56
141	1533	26
142	1533	54
143	1533	53
144	1533	29
145	1533	49
146	1533	35
147	1533	37*,39
148	1533	44,45
150	1537	29,30,31,32
151	1537	17,18,118,19,119,20,21,22,46*
152	1537	52

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
153	1537	53
154	1537	8
156	1537	1
158	1538	7
159	1538	10
160	1538	12,13,14,114,15
161	1538	58
162	1538	18,
163	1538	19,21,22*,23*,24*,25,26,27,28,29, 30,31,32,33,34*,35*,36*,37*,38*, 39*,40
163A	1538	43
164	1541	4*,5*,6,7,8,9,10*,11*,12,13,14, 15,16,18
165	1548	1,5,7,9,10,11,12,13*,14,15,16,17, 18,64,66,67
166	1548	26,27
167	1548	28,128,29
168	1548	32,33

\*Not in City - Ownership

EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)

<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
169	1549	4*,5,6,7,8*
170	1549	9,10,11
171	1549	18,19,20,21,22*,23,24*,25*,26*, 28,29,30,31,32,33*,34,35,36* 41,42,43,44,45,46,47
172	1556	p/o 5*,7,8
175	1557	35,36,37
176	1557	34*
177	1557	3,4,23,26,28*,31,32*,33*
178	1557	5,6,7,14*,15 16,17,19,20,21,22
179	1558	9,11,13,14,15,16,17,18
180	1558	25,28,31
181	1559	25*,27*,28*,29*
185	1560	10

\*Not in City - Ownership

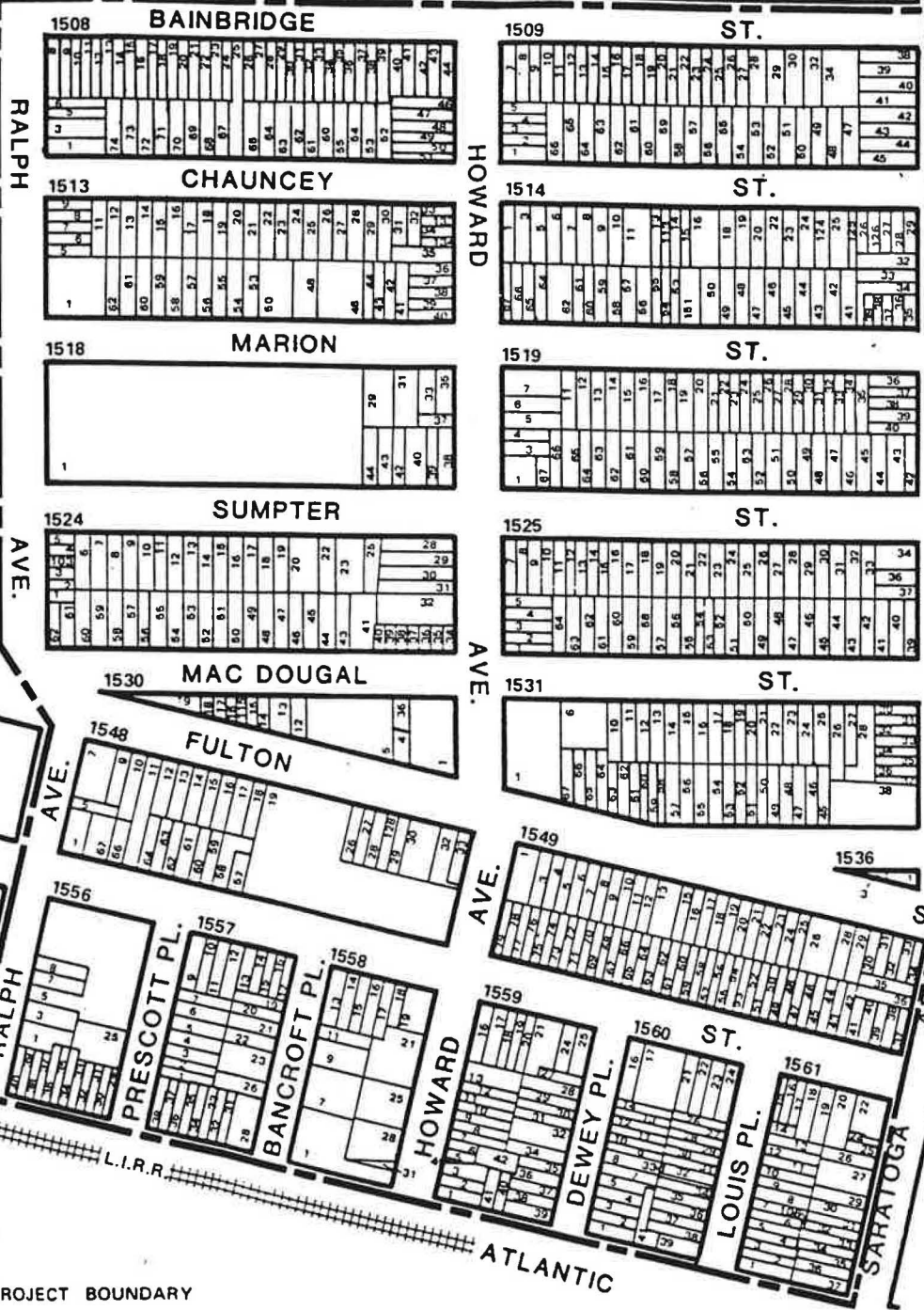
EXHIBIT B

PROPERTIES ACQUIRED AND/OR TO BE ACQUIRED (Continued)




<u>Site</u>	<u>Block</u>	<u>Lot(s)</u>
186	1560	29
187	1560	30*
190	1561	22*,24
193	1561	9

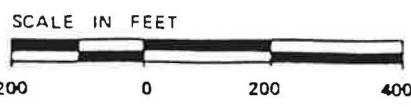
\*Not in City - Ownership

C.D. 16  
C.D. 3



**LEGEND**

-  PROJECT BOUNDARY
-  POINT OF BEGINNING OF BOUNDARY DESCRIPTION
-  BLOCK NUMBER  
LOT NUMBER



THE CITY OF NEW YORK  
DEPARTMENT OF HOUSING  
PRESERVATION AND DEVELOPMENT

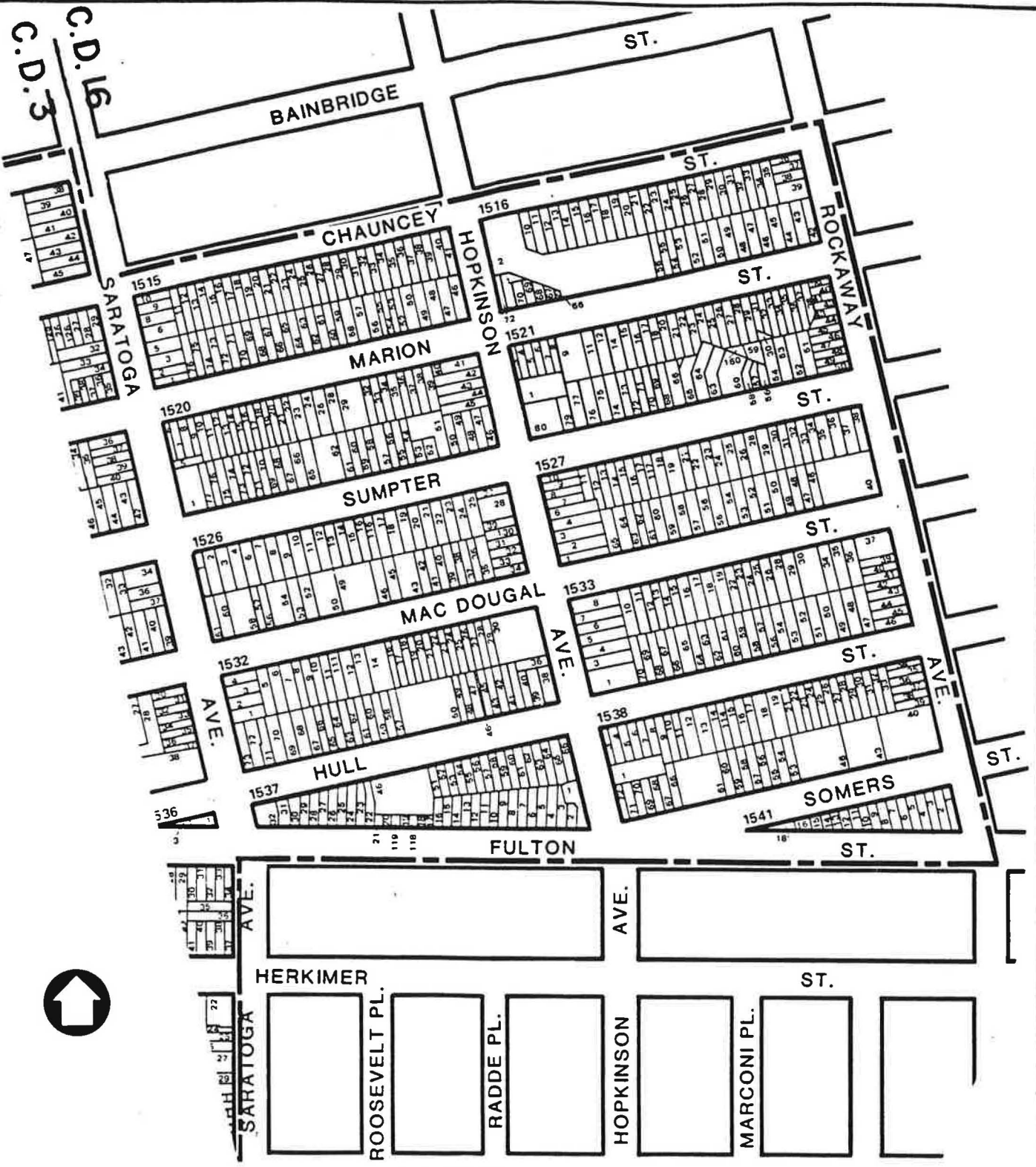
**SARATOGA SQUARE  
URBAN RENEWAL AREA**

**WEST PORTION -- A**

**PROJECT BOUNDARY 1A**

DATE: MARCH 1992





**LEGEND**

 PROJECT BOUNDARY

 BLOCK NUMBER  
LOT NUMBER



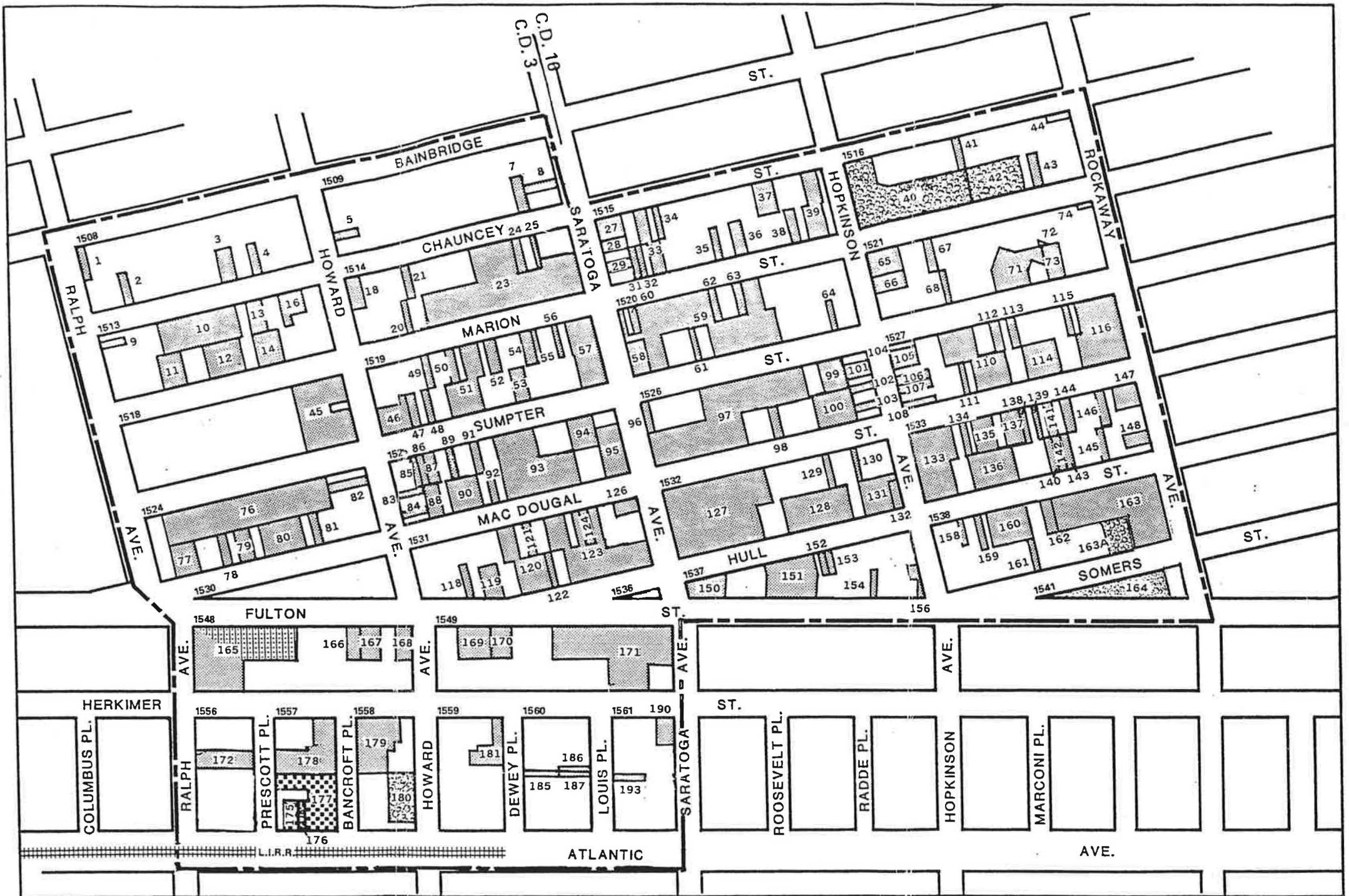
THE CITY OF NEW YORK  
DEPARTMENT OF HOUSING  
PRESERVATION AND DEVELOPMENT

**SARATOGA SQUARE  
URBAN RENEWAL AREA**




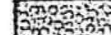



EAST PORTION -- B

**PROJECT BOUNDARY 1B**

DATE: MARCH 1992



**LEGEND**

-  PROJECT BOUNDARY
-  BLOCK NUMBER
-  RESIDENTIAL
-  OPEN SPACE
-  PUBLIC AND/OR SEMI-PUBLIC
-  INDUSTRIAL
-  SITE NUMBER



RESIDENTIAL AND/OR PUBLIC AND SEMI-PUBLIC



THE CITY OF NEW YORK  
DEPARTMENT OF HOUSING  
PRESERVATION AND DEVELOPMENT

**SARATOGA SQUARE  
URBAN RENEWAL AREA**

**LAND USE PLAN**

DATE: MARCH 1992

FACT SHEET

SARATOGA SQUARE URBAN RENEWAL PLAN

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ORIGINAL PLAN

MARCH 1992

BOUNDARIES

The attached Saratoga Square Urban Renewal Plan is a subdivision of the Central Brooklyn and Ocean Hill Urban Renewal Areas. The project area is located in the eastern portion of Community District 3 (Bedford-Stuyvesant) and the northwestern portion of Community District 16 (Ocean Hill), and is generally bounded by Bainbridge Street to the north, Rockaway Avenue to the east, Atlantic Avenue and Fulton Street to the south, and Ralph Avenue to the west (Exhibit A). Certain properties which were designated as UR sites in the aforementioned urban renewal plans, but never acquired, have been excluded from the Saratoga Square plan, in order to avoid the acquisition of well maintained occupied properties (see Attachment A to this fact sheet).

DESCRIPTION

The Urban Renewal Plan proposes the acquisition of 609 parcels. Approximately three-quarters of these properties are already City-owned as a result of In-rem foreclosure. This Urban Renewal Plan will facilitate the construction of some 400 two-family homes (yielding 800 dwelling units), utilizing the New York City Housing Partnership. In developing a comprehensive neighborhood plan for Saratoga Square, HPD has identified 32 occupied City-owned buildings containing 135 units which may be rehabilitated with tenants in occupancy by HPD's Office of Property Management. Another 70 vacant buildings with 405 units will be earmarked for substantial rehabilitation utilizing one of HPD's rehabilitation programs.

The plan permits commercial development along the avenues which are currently mapped with commercial overlays. In addition, zoning changes may be contemplated in the future to facilitate commercial development in the area. The plan also calls for the development of approximately one acre of open space on three sites. The NYC Department of Parks and Recreation will be refurbishing and expanding its Marion Street playground, located on Tax Block 1516, as well as its Weeksville Playground on Block 1558. HPD will be developing and maintaining a triangular park on Tax Blocks 1541, as indicated on Map 2, Land Use Plan.

<u>PROJECT DATA</u>	<u>CITY-OWNED</u>	<u>PRIVATELY-OWNED</u>	<u>COST</u>
ACQUISITION	468	141	\$3,500,000
RELOCATION	11 RES 3 COM	62 RES 12 COM	700,000
DEMOLITION	24	69	700,000
PROPERTY MANAGEMENT			400,000



FACT SHEET - ATTACHMENT B

SARATOGA SQUARE URBAN RENEWAL PLAN

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SARATOGA SQUARE URBAN RENEWAL AREA  
BUILDINGS TARGETED FOR REHABILITATION

<u>CD</u>	<u>BLOCK</u>	<u>OCCUPIED BLDGS. (MOD)</u>	<u>VACANT BLDGS. (SUB)</u>
3	1508	8,54,74	-
3	1509	3,43	-
3	1513	8	-
3	1514	3,124,125	1,10
3	1519	17,28,65	29,34
3	1524	29,54	-
3	1525	2,11	5,19
3	1531	-	52
3	1548	33	28,29,32,128
3	1549	9,10,11	-
3	1560	-	10,30
16	1515	59,63	3,8,9,10,13,14,16,39,40,47, 48,50,60,72,73,75
16	1516	36	22,47
16	1520	-	1,23,28,49,69
16	1521	39	1,12,53,73
16	1526	28,46	1,23,24,25,33,130
16	1527	61	3,7,8,9,32,22
16	1532	-	24,29
16	1533	12,15,18,39,54	14,16,19,24,35,37
16	1537	-	8,52
16	1538	18,58	7,10,12,13,14,15,19,114

