

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Bates, John M. and Elizabeth, House
No. 4

Name of Property

Clackamas Co., OR

County and State

90000832

NR Reference Number

Amendment:

NRIS # 90000832

Listed Date: (13/June/1990)

This is a Petition to delist the Bates House, No. 4 located at 4101 SW Southshore Drive, Lake Oswego, Oregon from the National Register of Historic Places. The residence is a single-story house on a daylight basement. It was designed in the 1950s and completed in 1954. The residence was listed on the register due to its architecture and engineering, including, closets, cabinetry, moldings and brass fittings. However, since that listing in 1990, those qualities (and details) have long ceased to exist.

The current owner, Ms. Dixie B. Powers, would like to renovate or demolish the building as it exists. Therefore, pursuant to 36 CFR 60.15, we are requesting the residence be delisted from the National Register of Historic Places. The residence is currently owned by Dixie Powers and the basis for delisting is found within 36 CFR 60.15(a)(1), i.e.:

The property has ceased to meet the criteria for listing in the National Register because the qualities which caused it to be originally listed have been lost or destroyed ***ⁱ

Attached as exhibits hereto are reports performed pursuant to multiple inspections of the residence. Additionally, photographs are attached hereto demonstrating the deteriorating condition of the elements of the residence relied upon for the designation. The structural aspect of the residence is especially problematic. Put simply, the house structure is not adequately secured to the foundation. In other words, the entire residence is unsecured. There are additional structural aspects of the Property that are very dangerous. For example, the chimney, which was a keystone element focused on in the nomination of the residence, is now a health hazard as the entire mortar cap and flashing has deteriorated. See, Chimcare report. Further, the plumbing and electrical systems have to be entirely replaced. In fact, pursuant to the inspection reports, every element of the home, both interior and exterior, requires extensive repair.

There are a number of key hallmarks of the residence identified by the nominating documentation including:

- the poured slab foundation;
- casement windows;
- custom made bricks;
- cabinetry;
- closets;
- siding;
- roof;
- the courtyard;
- porch hood;
- custom furniture;
- Rubblestone wall; and
- landscaping and gardens

ⁱ OAR 660-023-0200 has very similar guidelines.

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Each of these elements is damaged and falling apart, or is simply gone. For example, there are holes and gaps in the roof allowing water to pour into the building, causing extreme resultant damage. There is also a plethora of damage on the siding including cracked and broken siding elements. Additionally, mold has been found in the Residence meaning that it is a health hazard beside the structural issues.

Taking the key hallmarks one by one –

- The poured slab foundation has completely failed as reflected in the attached report.
- The casement windows are buckling, collapsing and breaking due to the foundation failure and vandalism.
- The bricks are collapsing.
- The cabinetry has been stripped by vandals.
- The closets have been destroyed or stripped.
- The siding has been damaged and is failing.
- The roof has openings all over it leading to interior and framing damage.
- The courtyard had a water feature that has been completely destroyed and the landscaping is non-existent.
- The porch hood is collapsing as it is missing two (2) industrial support beams that were stole. See inspection reports.
- The custom furniture, including the sofa and desk and built-ins, are long gone. They had been removed well before Ms. Powers purchased the property. The children that inherited the Residence sold all of the custom furniture as soon as they received it.
- The Rubblestone wall is purely cosmetic and is attached to the failing structure of the brick chimney. See, the Chimcare report.
- All of the landscaping and gardens are long gone. There is no landscaping on the property.

Suffice it to say, the residence is on the verge of full collapse and the aesthetics are damaged beyond repair or are falling down. We would invite you to inspect the residence yourself to verify the damage. There are multiple Bates homes on the Register. This one is unnecessary and is no longer worthy of its place on the Register.

Based on the foregoing, any architectural, construction or engineering qualities which caused this home to be listed on the Register have long since passed. According to the bids, to even repair just the foundation to allow the building to be structurally sound would cost approximately \$200,000. Though in 1954 and perhaps even in 1990, the home represented equipoise through a full range of the architect's designs and chosen finishes that is no longer the case. Therefore, utilizing the procedure identified under 36 CFR 60.15, the Property should be removed from the National Register of Historic Places.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
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Bates, John M. and Elizabeth, House No. 4
----- Name of Property
Clackamas Co., OR
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90000832
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State Agency Certification:

I hereby certify that this ___ additional documentation ___ move ___ removal ___ name change meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

Signature of Certifying Official/Title: Deputy State Historic Preservation Officer

Date of Action

Oregon State Historic Preservation Office
State or Federal agency/bureau or Tribal Government

National Park Service Certification

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- additional documentation accepted
- other (explain:) _____

Signature of the Keeper

Date of Action

United States Department of the Interior
National Park Service

National Register of Historic Places
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NR Reference Number

Photographs:

Submit clear and descriptive photographs. The size of each image must be 3000x2000 pixels, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property: Bates House No. 4

City or Vicinity: Lake Oswego

County: Clackamas **State:** Oregon

Photographer: Clayton Powers

Date Photographed: November 25, 2018 – December 3, 2018

Description of Photograph(s) and number, include description of view indicating direction of camera:

Photo 1 of 15: Broken courtyard feature

Photo 2 of 15: Courtyard and collapsing roof

Photo 3 of 15: Stripped cabinetry

Photo 4 of 15: Stripped fixtures

Photo 5 of 15: Broken bay window and lack of landscaping

Photo 6 of 15: Stripped built-in furniture; missing deck

Photo 7 of 15: Exterior, broken windows; landscaping

Photo 8 of 15: Failing structure and window

Photo 9 of 15: Collapsing and broken easement window

Photo 10 of 15: Broken bay window and landscaping

Photo 11 of 15: Collapsing and broken easement window

Photo 12 of 15: Missing landscape

Photo 13 of 15: Destroyed/failing brick

Photo 14 of 15: Missing landscape

Photo 15 of 15: Missing landscape

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

John M. and Elizabeth Bates House No. 4
Clackamas County: OR

Photo 1 of 15: Broken courtyard feature



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 2 of 15: Courtyard and collapsing roof



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 3 of 15: Stripped cabinetry



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 4 of 15: Stripped fixtures



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 5 of 15: Broken bay window and lack of landscaping



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 6 of 15: Stripped built-in furniture; missing deck



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 7 of 15: Exterior, broken windows; landscaping



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 8 of 15: Failing structure and window



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 9 of 15: Collapsing and broken easement window



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 10 of 15: Broken bay window and landscaping



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 11 of 15: Collapsing and broken easement window



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 12 of 15: Missing landscape



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 13 of 15: Destroyed/failing brick



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 14 of 15: Missing landscape



**John M. and Elizabeth Bates House No. 4
Clackamas County: OR**

Photo 15 of 15: Missing landscape





Prepared by:
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Prepared for:
 Clayton Powers and Dixie Powers
 claytonpowers99@gmail.com
 C (503) 754-0556
 W (503) 789-5222

Job location:
 4101 S Shore Blvd
 Lake Oswego, OR 97035

Prepared on:
 10-5-18

Project Summary

Permanently Stabilize Foundation	\$144,131.20
Permanently Stabilize Walls	\$4,881.00
Waterproof basement	\$20,447.50
VLE encapsulation of crawlspace	\$15,197.80
Total Investment	\$184,657.50
Total Contract Price	\$184,657.50
Deposit Required - 25%	\$46,164.38
Deposit Paid	\$0.00
Amount Due Upon Installation	\$184,657.50

Customer Consent

If the foundation (including foundation walls, footings and/or concrete slab) is found to be in too poor of condition to safely complete the contracted work, additional work and associated cost will be required. Any alteration in scope and/or cost will only be made after a consultation and approval between TerraFirma Foundation Systems and Customer. While TerraFirma Foundation Systems will do its best to evaluate the condition of the foundation concrete prior to work commencing, TFFS is not responsible for any damage that occurs as the result of failing foundation concrete. Completing the work in this Proposal at the time scheduled is contingent upon accidents or delays beyond our control. This Proposal is based primarily on the Customer's description of the problem. This Proposal may be withdrawn if not accepted by the Customer within 45 days. OR: 173547 WA: TERRAFR931LH

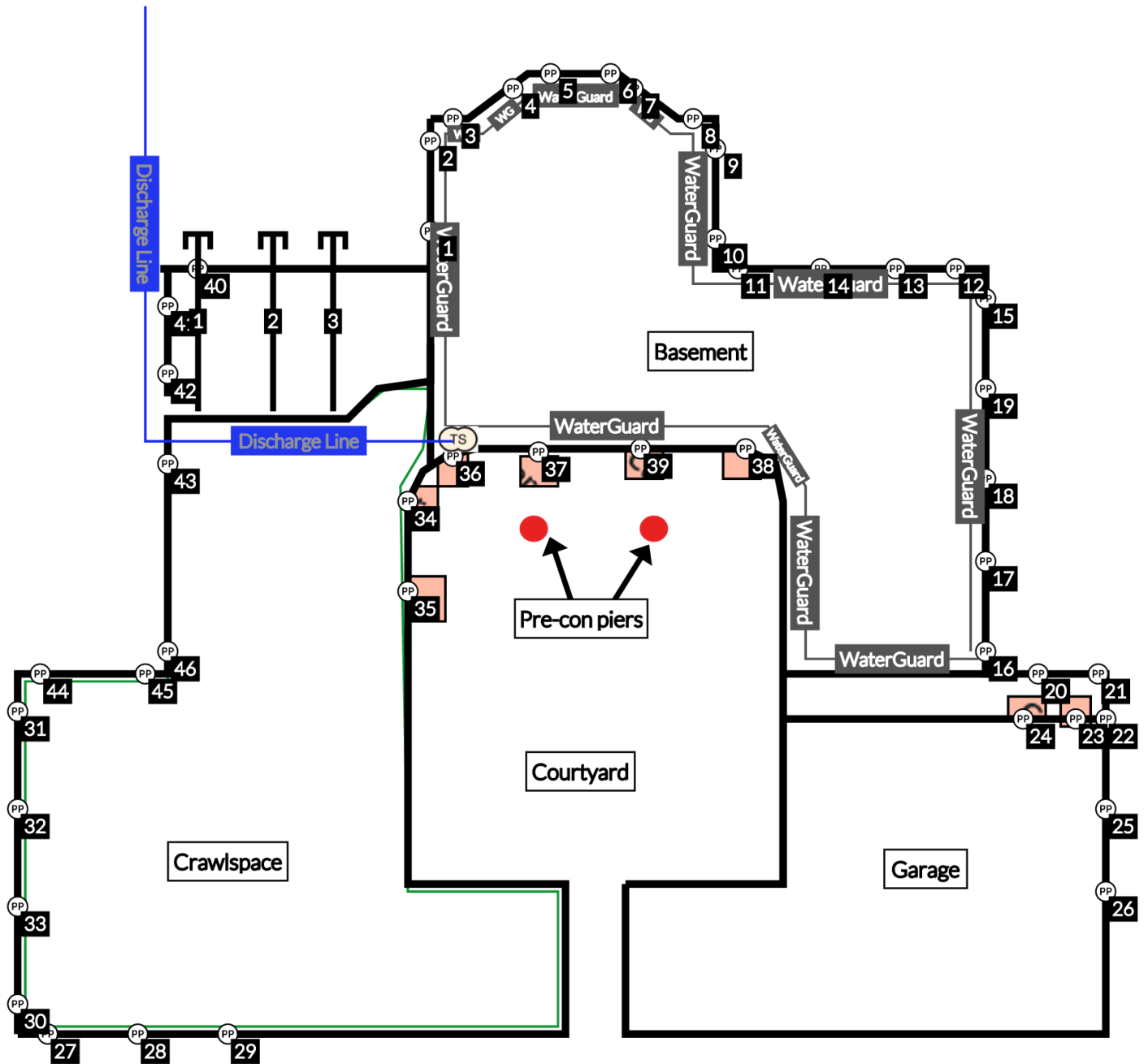
Authorized Signature _____ **Date** _____

Acceptance of Contract— I am/we are aware of and agree to the contents of this Proposal, the attached Job Detail sheet(s), and the attached Limited Warranty, (together, the "Contract"). You are authorized to do the work as specified in the Contract. I/we will make the payment set forth in this Contract at the time it is due. I/we will pay your service charge of 1.33% per month (16% per annum) if my/our account is 30 days or more past due, plus your attorney's fees and costs to collect and enforce this Contract. In event account must be referred to a third party for collection, I/we agree to pay all reasonable collection and/or attorney fees, as well as court costs incurred to effect collection.

Customer Signature _____ **Date** _____

Canceling the project after 3 days may result in loss of deposit. **Initial** _____

Job Details



Job Details (Continued)

Specifications

Install Push Pier(s) to support the foundation as shown on job drawing using a standard bracket. Final Location of pier(s) is subject to field conditions. Remove and replace concrete as indicated on job drawing. Engineering calculations required by governing jurisdiction. Third party special inspection required per jurisdiction requirements. Full Geo-Technical report required in certain areas of Portland. Permit fee to obtain necessary permits to install project. Fee includes administrative costs associated with obtaining permit. Install helical piers with concrete Sonotube and posts (up to 10 feet) to support structure. Price includes labor, materials, demo of existing support, and temporary support. Retrofit Helical Anchor/Tieback Hand Held Install Geo-Lock Wall Anchors as indicated on job drawing using a 12"x18" wall support and a 16"x16" anchor plate below grade on the exterior. Final location of anchor(s) is subject to field conditions. Install 6' anchor extension(s) connecting with a locking coupler. Install removable Hide-A-Way Anchor cover(s) to conceal anchor plates. Install WaterGuard sub-floor drainage system as indicated in job drawing. Install TripleSafe pump system with twin liner, 1/3 hp cast iron primary AC pump, 1/2 hp cast iron AC back-up pump, and UltraSump battery back-up pumping system with charging/control box with alarm, and 120 amp sealed maintenance free battery. Includes 3 CleanPump stands, airtight lid with airtight floor drain, and WaterWatch alarm system. Install Discharge line, solid PVC pipe buried to Landscape Outlet (or equivalent). Install pop-up outlet (or equivalent) at end of discharge line that is designed to prevent leaves, animals, & debris from clogging the discharge line. 22 3/8" tall x 18" wide x 24" long. Install WaterGuard Port for access to system. Cut Drywall & Paneling to Exterior Grade Install VaporLoc Elite Wall System on walls as shown. VaporLoc Elite Wall System is a 120 mil thick wall liner that has an EVOH layer to keep moisture and smells from entering the basement environment. It is double-taped, fastened and sealed to the basement wall to ensure 100% seal. Discharge line / Buried PVC Pipe, exit to landscape, pop-up drain, or drywell; 25' from home. Foreman to discuss with design specialist exact location. Install MoistureLoc Dehumidification & Air Filtration System - MoistureLoc is a dehumidification system that can draw up to 95 pints per day of moisture from the crawlspace. Install Landscape outlet at end of discharge line. VaporLoc Elite - Install VaporLoc Elite Crawl Space Encapsulation System, Everlast Vent Covers (or equivalent), and go under or around existing posts. - VaporLoc Elite - A 120 mil white liner consisting of multiple layers for ultimate seal against soil odor and gasses. It is blue on one side and bright white on the other. It provides exceptional impact and resistance and brute tear resistance, is double taped at the seams for 100% seal, and boasts an EVOH layer for superior protection against odors. Wrap Piers - seal VaporLoc liner to Pier pad to seal off earth's moisture from the home. Install Vent Covers to seal crawl space vents permanently to stop unwanted outside air from entering the crawl space, provides excellent seal and insulation. Install Drainage Matting - Great for crawl space drainage over soils and under VaporLoc Elite. Also softens floor for crawling and to increase durability. Install R-30 batting insulation in Rim joist. Install Enerloc.

Contractor Will

Customer Will

Product List

Permanently Stabilize Foundation

3" Push Pier, Standard Bracket	46
Concrete R & R, Per Anchor	8
North Engineering Calculations 21-30 Piers	1
North Special Inspection	48
North Full Geo-Technical Report	1
Permit Fee	7644
Pre-Construction Piers for Decks	2
Retrofit Helical Anchor/Tieback Hand Held	3

Permanently Stabilize Walls

Geo-Lock Anchors, 12"x18" Wall Plate, 16"x16" Earth Anchor	3
6' Extension	3

Product List (Continued)

Hide-A-Way Cover, Hide-A-Way Anchor Cover 3

Waterproof basement

WaterGuard 161 ft

TripleSafe 1

WaterGuard Port 10

Cut Drywall & Paneling to Exterior Grade 160 ft

VaporLoc Elite Wall System 160 ft

VLE encapsulation of crawlspace

Discharge Line 30 ft

MoistureLoc 1

LawnScape Outlet 1

VaporLoc Elite Bundled 980 sqft

Recommendations to Your Project

Lift Settled Foundation

Bid Required

Add Means of Egress

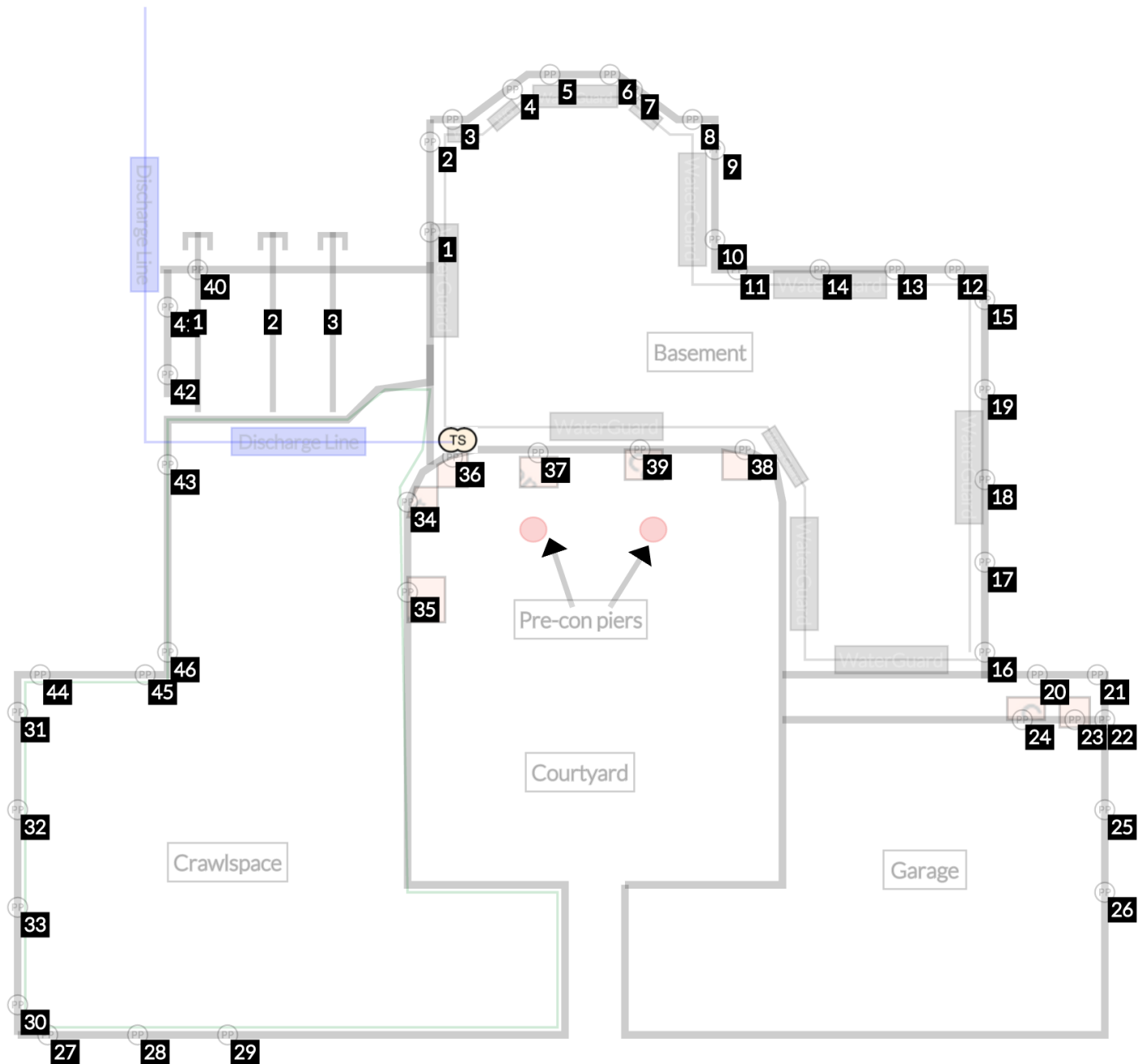
Bid Required

Permanently Support Slab

Bid Required

Straighten Walls Immediately

Bid Required



Limited Warranty

Standard Exclusions Permitted By State Law – This Foundation Limited Warranty (“Warranty”) is made in lieu of and excludes all other warranties, express or implied, and all other obligations on the part of the contractor (“Contractor”) to the customer (“Customer”). There are no other verbal or written warranties, no warranties which extend beyond the description on the face hereof, and NO WARRANTIES OF EXPRESS OR IMPLIED MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. Some states do not allow the exclusion or limitation of certain warranties, so some of the above exclusions and limitations may not apply to Customer.

General Terms – For the applicable time periods indicated below, this Warranty is transferable at no charge to future owners of the structure on which the work specified in this Contract is completed. This Warranty is in effect if the job specified in this Contract is completed and paid in full and, alternatively, is null and void if full payment is not received. Contractor does not warrant products not mentioned below, but some of such products may be covered by a manufacturer’s warranty. All material used is warranted to be as specified in this Contract. All work will be completed in a workmanlike manner according to the standard practices of the industry. Contractor’s workers are fully covered by Workers’ Compensation insurance.

Foundation Piers – Contractor warrants that the foundation piers will stabilize the affected area(s) against further settlement for Seventy-Five (75) years from the date of installation, or else Contractor will provide the labor and materials, at no cost to Customer, to correct the problem with the foundation piers. Contractor does not warrant to lift, to close cracks, to render doors and windows operational, or to move walls back to their original position, but will do its best to achieve positive results in this regard. Customer should be aware that damage can occur to the structure during a lift operation and that Contractor is not responsible for such damages. Foundation piers provide vertical support only and cannot be expected to provide lateral support. If lateral movement occurs, additional work may be needed at an additional cost.

Geo-Lock Wall Anchors – Contractor hereby warrants that the Geo-Lock wall anchors (“Anchors”) will stop further inward movement of the wall(s) repaired for seventy-five (75) years from the date of installation, or else Contractor will provide the labor and materials, at no cost to Customer, to correct the problem with the Anchors. Walls that do not have Anchors installed entirely from corner to corner, by Contractor, are not warranted. Anchors are warranted only to stabilize the affected wall(s) and not straighten them. If Customer desires further outward movement in the wall(s) repaired, Customer may tighten the installed Anchors as recommended by the manufacturer, but assumes all liability for damages due to over-tightening of the Anchors.

Exclusions From This Warranty – This Warranty does not cover and Contractor specifically disclaims liability for: 1) exterior waterproofing; 2) system damage caused by Customer’s negligence, misuse, abuse, or alteration; 3) dust incidental to installation; 4) damage to personal property of any type; 5) utility line breakage; 6) damage caused by mold; 7) failure or delay in performance or damage caused by acts of God (flood, fire, storm, methane gas, etc.), acts of civil or military authority, or any other cause outside of its control; 8) damage done during a lifting operation; 9) basement water seepage; 10) heave or any damages caused by it; and 11) damage caused by lateral movements and forces of hillside creep, land sliding or slumping of fill soils of deep embankments.

Items For Which Customer Is Responsible – Customer is responsible for: 1) making full payment to the crew leader upon completion of the work; 2) preparing the work area for installation; 3) any finish carpentry, painting, paneling, landscaping, etc. that may be necessary after Contractor’s work is finished; 4) marking any private lines such as satellite cables, propane lines, sprinkler system lines, etc.; 5) maintaining positive drainage away from the repaired wall(s); 6) keeping gutters clean and in good working order; 7) directing downspouts a sufficient distance away from the repaired wall(s); 8) maintaining proper expansion joints in concrete slabs that are adjacent to the repaired wall(s); and 9) any items mentioned in this Contract under “Customer Will” or “Additional Notes.”

SmartJack Post Replacement - The manufacturer of SmartJacks warrants that SmartJacks will, under normal use and service, be free from defects in material and workmanship for seventy-five (75) years from the date of installation (see manufacturer’s warranty for more details). If changes due to excess moisture occur in the area(s) where SmartJack Post Replacement are installed, an encapsulation system, drainage and dehumidification may be necessary in such area(s) at an additional cost to Customer. There is no warranty, either explicit or implied, against settlement with SmartJack Post Replacement.

Warranty is in effect when job is completed and paid in full.

If water from the walls or floor wall joint passes through the perimeter water control system and onto the basement floor we will provide the additional labor and materials to fix the leak at no additional charge to the homeowner. This warranty applies to WaterGuard, and DryTrak systems, along the specific areas where the system is installed. Said warranty will be in effect for the lifetime of the structure. This warranty may be transferred to future homeowners provided we are notified within 30 days of the real estate transfer. The water control system shall not rust, rot or corrode for as long as you own the home.

If the entire perimeter of the basement was not treated, then additional work at additional charge could be necessary to extend the system or treat other areas or other problems not addressed by this work. In addition, a pump or power failure is possible, therefore this warranty is not a guarantee of a dry basement, as the scope of this work cannot guarantee that in all circumstances

Primary AC operated sump pumps and DC back-up pumps are covered under a separate manufacturer’s warranty which is 36 months from date of installation. Failure of any pump for any reason is outside the scope of this warranty. Back-up pumps that run off a battery, if not maintained, or that are called on to run beyond the current life of the battery, can fail. These systems are very much recommended, but cannot be relied upon to work in every situation. Annual maintenance is recommended, to find potential problems, but not required for this warranty to be in effect. Electrical work is not included in the contract and problems from electrical connections or lack thereof are disclaimed.

(continued)

LIMITED WARRANTY: Interior crawlspace drainage systems are subject to a Limited Warranty against workmanship defects for a period of 10 years from date of installation. Systems that drain to daylight cannot be warranted by the contractor if such drain: does not drain enough water, does not drain water from under the floor, clogs, or freezes. While drainage systems clogging or malfunctioning from iron ochre, iron gel, or iron bacteria from the soil are rare, the contractor cannot be responsible for these situations, and that system will require cleaning, flushing or other service as necessary to keep it functioning for that particular situation. Contractor has no duty to test for the presence of iron ochre, iron gel, or iron bacteria and has not done so. Limited Warranty Void: this Limited Warranty shall be void immediately upon any change or alteration in or to the site that has an impact to the volume or path of water into or near the home (including, but not limited to, changes caused by or to landscaping, irrigation, grading, driveways, patios, or roof or gutter drains). As a condition precedent to the enforcement of this Limited Warranty, Buyer must service the interior crawlspace drainage system on an annual basis. This Limited Warranty is in lieu of all other express or implied warranties of any kind whatsoever.

A VaporLoc Elite crawl space encapsulation system will isolate the home from the earth. The humidity level in the air will be lowered, reducing moisture needed for mold growth, however the encapsulation system does not claim to be a mold mitigation system. Wet crawl spaces require a drainage system, and a Triple Safe or SmartSump system to remedy the problem with water below the VaporLoc Elite liner. VaporLoc Elite has a transferable 25 year warranty 100% seal of soil odor and gasses and there will be no charge for service calls on any tears or holes in the VaporLoc Elite liner, in the unlikely event this occurs. Sump pumps are covered under a separate manufacturer warranty. Installation of the system does not include extending discharge lines, or electrical work unless specified. Contractor is not responsible for frozen discharge lines without an IceGuard, water once pumped from house, or condensation.

A CleanSpace, crawl space encapsulation system will isolate the home from the earth. The humidity level in the air will be lowered, reducing moisture needed for mold growth, however the encapsulation system does not claim to be a mold mitigation system. Wet crawl spaces require a drainage system, and a SmartSump system to remedy the problem with water below the CleanSpace liner. CleanSpace has a transferable 25 year warranty – there will be no charge for service calls on any tears or holes in the CleanSpace liner, in the unlikely event this occurs. Sump pumps are covered under a separate manufacturer warranty. Installation of the system does not include extending discharge lines, or electrical work unless specified. Contractor is not responsible for frozen discharge lines without an IceGuard, water once pumped from house, or condensation.

THIS WARRANTY DOES NOT COVER, AND THE CONTRACTOR SPECIFICALLY DISCLAIMS LIABILITY FOR WATER DAMAGE TO FLOOR COVERINGS, FURNITURE, STORED ITEMS, FINISHED WALLS AND OTHER OBJECTS INSIDE THE FOUNDATION. Contractor will not be responsible for any damages caused by mold, to include but not be limited to property damage, personal injury, loss of income, emotional distress, death, loss of use, loss of value, and adverse health effects, or any other effects. Homeowner agrees to keep area dry and report all other obligations on contractor's part. There are no other warranties verbal or written.

ADDITIONAL NOTES:

If engineer of record or governing jurisdiction require lateral restraint to be added to the project, an additional charge of up to \$3,000.00 per restraint may be added to the project price.

Initial: _____

If Geo-Technical Engineer or Structural Engineer of record require Grouted Micropiles to permanently stabilize the foundation, design and price may be subject to change.

Initial: _____

Customer understands that TerraFirma will charge the Customer's line of credit for Engineering and Permits should, for any reason, the Customer decide not to complete the work. TerraFirma will only charge for work that has actually been completed. Customer will be provided copies of the Engineering should it be completed.

Initial: _____

If engineer of record or governing jurisdiction require a full Geo-Technical Report to acquire a permit, an additional charge will be added based on access and scope of report.

Initial: _____

Customer understands that because SmartJack Post Replacements are utilizing the existing concrete pier pads, there is NO warranty against settlement, and that any future adjustments will be an additional charge.

Initials: _____

LIMITED WARRANTY: Interior crawlspace drainage systems are subject to a Limited Warranty against workmanship defects for a period of 10 years from date of installation. Systems that drain to daylight cannot be warranted by the contractor if such drain: does not drain enough water, does not drain water from under the floor, clogs, or freezes. While drainage systems clogging or malfunctioning from iron ochre, iron gel, or iron bacteria from the soil are rare, the contractor cannot be responsible for these situations, and that system will require cleaning, flushing or other service as necessary to keep it functioning for that particular situation. Contractor has no duty to test for the presence of iron ochre, iron gel, or iron bacteria and has not done so. Limited Warranty Void: this Limited Warranty shall be void immediately upon any change or alteration in or to the site that has an impact to the volume or path of water into or near the home (including, but not limited to, changes caused by or to landscaping, irrigation, grading, driveways, patios, or roof or gutter drains). As a condition precedent to the enforcement of this Limited Warranty, Buyer must service the interior crawlspace drainage system on an annual basis. This Limited Warranty is in lieu of all other express or implied warranties of any kind whatsoever.

Notice of Right to Cancel

You are entering into a contract. If that contract is a result of, or in connection with a salesman's direct contact with, or call to you at your residence without your soliciting the contract or call, then you have a legal right to void the contract or sale by notifying us within three business days from whichever of the following events occurs last:

1. The date of the transaction, which is: _____ or
2. The date you received this notice of cancellation.

How to Cancel

If you decide to cancel this transaction, you may do so by notifying us in writing at:

TerraFirma Foundation Systems

TF 1-866-486-7196

F 541-229-4051

www.TerraFirmafs.com

7910 SW Hunziker Rd

Tigard, OR 97223

You may use any written statement that is signed and dated by you and states your intentions to cancel, or you may use this notice by dating and signing below. Keep one copy of the notice because it contains important information about your rights.

I wish to cancel.

Owner's Signature

Date

Owner's Signature

Date

The undersigned acknowledges receipt of the two copies of the Notice of Right to Cancel.

Owner's Signature

Date

Owner's Signature

Date



INSPECTION REPORT

**Prepared for: Clayton Powers
Real Estate Professional:**

**Property address: 4101 S Shore Blvd, Lake Oswego, OR 97035
Report ID: 20181004-shore**



Prepared by: Dave Lauridsen

**Front Porch Home Inspection LLC
34252 Bennett Rd Warren OR 97053
503.410.4172 dave@frontporchnw.com
CCB# 215226; OCHI# 2006**

**THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING
THE HOME INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF**

EXHIBIT B

THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE HOME INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

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Date: 10/4/2018	Time: 01:00 PM	Report ID: 20181004-shore
Property: 4101 S Shore Blvd Lake Oswego OR 97035	Customer: Clayton Powers	Real Estate Professional:

INTRODUCTION, SCOPE & DEFINITIONS

INTRODUCTION: The following numbered and attached pages are your FULL HOME INSPECTION REPORT, including all items from the summary report; any items in RED are items that were also included in the SUMMARY REPORT. This full report includes photos, comments, recommendations and other useful information about the home and it's components.

The accompanying photos will generally show a detail of the item being described to help visually describe that item, as well as a wider shot/ shots to help give a context for where the item being described is located in the home. Please note that every occurrence of an issue may not be shown and it is always advised that when repairs or further evaluation are recommended, that the contractor performing the repairs do a full evaluation of the system or issue being repaired to ensure that repairs are fully and properly completed.

A moisture meter and infrared camera are used when appropriate to aid in detecting deficiencies including elevated moisture levels in building materials, leaks in plumbing fixtures, and potential overheating in electrical systems, where they might otherwise go undetected. If a photo of a moisture meter is included with an item, note that moisture levels in wood materials above ~18% will promote wood rot. If infrared photos are included, a dark blue spot indicates an excessively cool area which may indicate a water leak, and a bright red spot indicates a hot spot such as an overheating electrical component.

This inspection was performed in accordance with the standards set forth in division 8 of OAR chapter 12 and the standards of practice and code of ethics Internachi (The International Association of Certified Home Inspectors). These standards contains certain and very important limitations, expectations and exclusions to the inspection. A copy is available prior to, during and after the inspection.

SCOPE: A home inspection is intended to assist in evaluating the overall condition of the dwelling. The inspection is based on observation of visible, readily accessible and apparent condition of the structure and it's components on the day of the inspection. The results of this inspection are not intended to make any representation regarding the presence or absence of concealed defects that are not reasonably ascertainable or readily accessible in a competently performed inspection.

No warranty, guarantee or insurance by this inspection company is expressed or implied. This report does not include inspection for mold, lead or asbestos. A representative sample of the building components is viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of components is performed.

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion and/ or further inspection by a qualified contractor before the expiration of the inspection contingency period. All costs associated with further inspection fees and repairs or replacement of the item, component or unit should be considered before you purchase the property.

DEFINITIONS:

Inspected / Acceptable (IN) = The item, component or unit was visually inspected and if no other comments were made then it appeared to be functioning satisfactorily and as intended with no deficiencies observed, allowing for normal wear and tear.

Not Inspected (NI) = The item, component or unit was not inspected and no representation is made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or unit is not present in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended. Further inspection by a qualified, licensed specialist is recommended before the expiration of your inspection contingency period. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Monitor (M) = The item had indications that it may not be functioning as intended but was inconclusive at the time of the inspection and should be monitored (EX: water stains where further testing did not indicate active moisture at that location).

This home is older than 50 years and the home inspector considers this while inspecting. It is expected to have areas that no longer comply with current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code violations. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. This inspection looks for items that are not functioning as intended, or items that may lead to defects or damage if not corrected. It does not grade repairs. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Older homes may also contain substances known to cause cancer or birth defects, such as asbestos or lead. Testing for these substances lies beyond the scope of a home inspection and may require laboratory analysis for confirmation. Signs of these products may be noted, but due to the number of building materials that used these materials, pointing out all potential instances is not possible. Removal of these materials may require testing and special handling and disposal. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. It is recommended that you always consider hiring the appropriate expert for any repairs or further inspection needed.

In Attendance:

Client

Type of building:

Single Family (2 story)

Style of Home:

Ranch

Year Built:

1952, Over 50 Years

Front of Home Faces:

East

Approximate Temperature:

Over 65 (F)

Weather Conditions:

Cloudy

Ground/Soil surface condition:

Dry

1. Exterior and Site



Styles & Materials

Driveway Material:

Asphalt

Walkway material:

Asphalt
Concrete

Exterior Wall Covering:

Stucco
Vertical Wood Siding

Exterior Entry Doors:

Wood

Appurtenance:

Covered Patio
Covered porch
Patio

GFCI Protection at Exterior Receptacles:

No

		IN	NI	NP	RR	M
1.0	Driveway / Walkways				•	
1.1	General Grounds- Vegetation, Grading, Drainage, Retaining Walls				•	•
1.2	Porch / Stairs / Patio / Deck / Balcony				•	
1.3	Wall Cladding, Flashing and Trim				•	
1.4	Eaves, Soffits and Fascias				•	
1.5	Window exteriors				•	
1.6	Exterior Doors				•	
		IN	NI	NP	RR	M

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Comments:

1.0 Driveway and side driveway had multiple areas of damage which may indicate heaving soil at these areas. Recommend further evaluation and repairs as necessary by a qualified soil engineer.



1.0



1.0



1.0



1.0



1.0

1.1 (1) Deteriorated mortar and loose rocks were visible at multiple areas of the retaining wall and are a safety hazard. Recommend further evaluation and stabilization as needed by a qualified masonry contractor.



1.1



1.1



1.1



1.1

1.1 (2) There is a negative slope in the grading at the front of the home and left side of the home. This area does not appear to properly drain water away from the home and may need correction to the grading. A properly graded site should slope away from the home at least 6 inches within 10 feet of the foundation to help direct water away from the home. When it is not possible to achieve proper grading in this manner other measures may be used to promote proper drainage such as swales or landscaping drains. Recommend further evaluation and correction as needed by a qualified landscaping contractor.



1.1



1.1

1.1 (3) Vegetation was in contact with the roof and wall cladding at one or more areas around the home's exterior. This will hold moisture against the house and may result in moisture related damage to the wall cladding and structural components of the home. Vegetation should be trimmed and maintained to a minimum of 12-16 inches from the wall cladding (trees to 10 feet minimum) to help prevent moisture related damage and to discourage insect intrusion. Recommend correction and maintenance as needed by a qualified landscaping contractor.



1.1



1.1



1.1

1.2 (1) Back porch tiles were loose at multiple areas due to moisture exposure and water related damage. Loose tiles are a safety and fall hazard. Recommend further evaluation and correction as needed by a qualified contractor.



1.2



1.2

1.2 (2) Underside of the back porch covering had deteriorated and scaling concrete from excessive moisture contact. Recommend repairs as needed by a qualified masonry contractor.



1.2



1.2



1.2

1.2 (3) Structural support posts at the interior patio had been removed which has compromised the structural integrity of the patio. Recommend further evaluation and repairs as needed by a qualified structural engineer.



1.2



1.2



1.2

1.3 (1) Diagonal and horizontal hairline cracks in the stucco visible at multiple areas may be an indication of excessive movement and settling of home. Recommend further evaluation and repairs as needed by a qualified contractor.



1.3



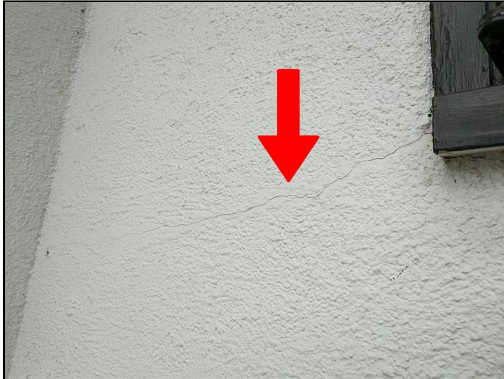
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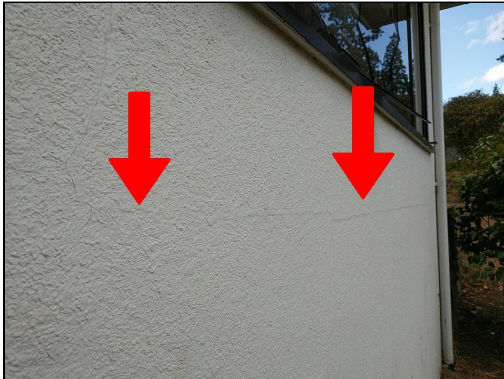
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1.3



1.3



1.3



1.3



1.3



1.3

1.3 (2) Stucco at the back porch was peeling and discolored with various forms of fungus and microbial growth from water intrusion into the porch structure. Framing members were not visible and may have additional damage not able to be evaluated. Recommend further evaluation and repairs as needed by a qualified contractor.



1.3



1.3



1.3



1.3



1.3

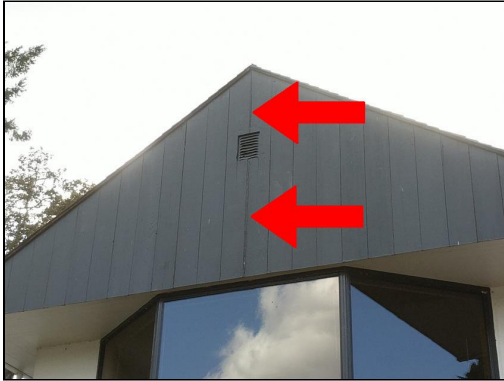


1.3



1.3

1.3 (3) Cedar siding at the south side of the home was damaged and appeared to be deteriorated from weather exposure. Limited access due to height restrictions limited full evaluation of this area. Recommend further evaluation and repairs as needed by a qualified contractor.



1.3



1.3

1.3 (4) Wall cladding at the roof gables had inadequate clearance above the roof covering material. At both headwalls and sidewalls, a gap of at least 1½ inches between the bottom of the exterior wall-covering material and the top of the roof-covering material should be provided. Without a gap, the exterior wall covering will wick up moisture from the roof which will lead to moisture related damage and deterioration. Recommend correction by a qualified roofing contractor.



1.3

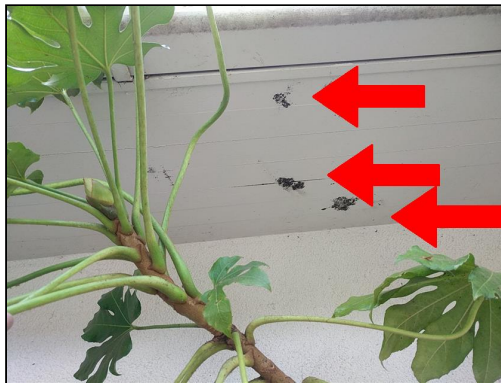


1.3

1.4 Microbial growth was visible under the atrium eaves at multiple areas. This is likely the result of vegetation holding moisture against the eaves. The type of growth or extent of damage was not determined. Growth may extend behind the eaves and will require destructive testing and laboratory analysis to determine the amount and type(s) of growth present. Recommend further evaluation and treatment for removal by a qualified mold remediation expert.



1.4



1.4

1.5 (1) Window frames had varying levels of wood rot visible. Recommend further evaluation and repairs as needed by a qualified contractor.



1.5



1.5



1.5



1.5



1.5



1.5

1.5 (2) The basement level bay window steel support columns were rusted and may be structurally compromised. Recommend further evaluation and repairs as needed by a qualified contractor.



1.5



1.5



1.5

1.6 (1) Steel sliding patio doors and frames at the east side of the home were severely rusted and will likely need replacement. Recommend further evaluation and repairs as needed by a qualified contractor.



1.6



1.6



1.6

1.6 (2) Atrium doors were binding and would not fully close. This may be related to movement at this area from removal of posts (see notes at item 1.2). Recommend further evaluation and repairs as needed by a qualified contractor.



1.6



1.6

The exterior and site of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

2. Roofing



Styles & Materials

Roof Inspection Method:

Top of Ladder
Partially Walked Roof

Roof Covering Material:

Wood Shingle

Number of Roof Layers:

One

Roof Style:

Gable

Approximate Roof Slope:

6 & 12

Underlayment:

Not Visible

Gutter/ downspout material:

Galvanized Steel

		IN	NI	NP	RR	M
2.1	Flashings	•				
2.2	Roof Penetrations (Plumbing, Combustion and Vents)				•	
2.10	Wood Shingle Roof				•	
		IN	NI	NP	RR	M

IN= Inspected / Acceptable, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, M= Monitor

Comments:

2.2 Lead flashing at one or more roof penetrations was deteriorated and will leak. Recommend repairs by a qualified roofing contractor.



2.2



2.2

2.10 The wood shingle roof-covering material was at the end of its useful life. It was severely deteriorated, with many split, broken and missing shingles, advanced decay of shingle butts, and areas in which shingles were eroded through. Recommend consulting with a qualified roofing contractor to discuss options and costs for replacement.



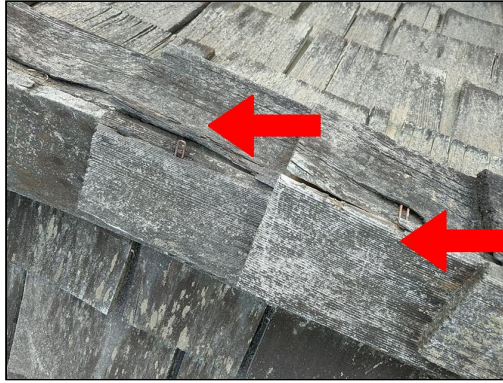
2.10



2.10



2.10



2.10



2.10



2.10



2.10



2.10



2.10

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during the inspection but may have undetectable defects due to weather conditions. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

3. Attic / Roof Structure



Styles & Materials

Attic Inspection Method:

Inside the attic

Attic Access:

Pull Down Stairs
Access Location : Garage

Roof Sheathing Material:

Wood boards

Roof Structure:

Conventional Framing
2 x 4 Rafters

Ceiling Structure:

2 x 10 Ceiling Joists

Attic insulation material:

Blown
Fiberglass

Roof Structure Ventilation:

Roof vents
Gable vents

		IN	NI	NP	RR	M
3.0	Attic Access Location	•				
3.1	Roof and Roof Structure	•				
3.2	Roof Sheathing	•				
3.3	Ceilings and Ceiling Structure	•				
3.4	Attic Ventilation (including fans and thermostatic controls)	•				
3.5	Attic Insulation	•				
3.6	Attic Plumbing	•				
3.7	Attic HVAC				•	
3.8	Misc. Attic / Roof Structure (leakage, debris, etc.)				•	
		IN	NI	NP	RR	M

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Comments:

3.0 The attic was accessed by a ceiling-installed pull-down ladder in the garage.



3.0



3.0

3.7 A bathroom exhaust vent terminated in the attic instead of at the home exterior. This can cause excessively high moisture vapor levels in the attic with the potential to damage home materials and be a source of microbial growth. Recommend correction by a qualified contractor.

The duct from the range hood or other exhaust system did not properly or fully direct exhaust to the exterior. This may result in moisture related damage to attic materials from the formation of condensation and is a potential source of microbial growth. Recommend correction by a qualified contractor so that the duct properly terminates to the exterior of the home.



3.7



3.7

3.8 (1) Damage from wood destroying organisms (WDO's) was visible on the roof framing at one or more areas in the attic. What appeared to be fresh frass (powdery refuse from WDO activity) was visible indicating possible active WDO nesting exists. Recommend further evaluation by a qualified pest control expert and treatment for removal as advised.



3.8



3.8



3.8

3.8 (2) Stains from roof leakage were visible on roof rafters at multiple areas. Recommend repairs or roof replacement by a qualified roofing contractor.



3.8



3.8

3.8 (3) Multiple areas gaps between wood shingles were visible which will leak during rain activity. Recommend repairs or roof replacement.



3.8



3.8

The attic and roof structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

4. Garage



Styles & Materials

Garage Type:

Attached

Garage Door Type:

2-Car Automatic

Garage Door Material:

Steel

Auto-opener Manufacturer:

Lift-Master

GFCI Protection at Garage

Receptacles:

No

		IN	NI	NP	RR	M
4.1	Garage Ceilings and Walls (including Firewall Separation)	•				
4.2	Garage Floor	•				
4.3	Garage Door (s)	•				
4.4	Garage Door Operators (Report whether or not doors will reverse when met with resistance)	•				
4.5	Occupant Door (from garage to inside of home)	•				
4.6	Garage window (s)	•				
		IN	NI	NP	RR	M

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Comments:

4.6 Garage windows had significant deterioration from rust. Recommend further evaluation and repairs as needed by a qualified contractor.



4.6



4.6

The garage of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

5(A) . Living Room / Dining Room / Common Areas and Rooms





Styles & Materials

Ceiling Material:

Gypsum Board (Drywall)

Wall Material:

Gypsum Board (Drywall)
 Paneling
 Wood

Floor Covering:

Tile
 Extra Info : Cork

Interior Doors:

Hollow core

Window Types:

Dual Pane- Thermal/Insulated
 Casement
 Fixed
 Steel

Smoke / CO Detectors:

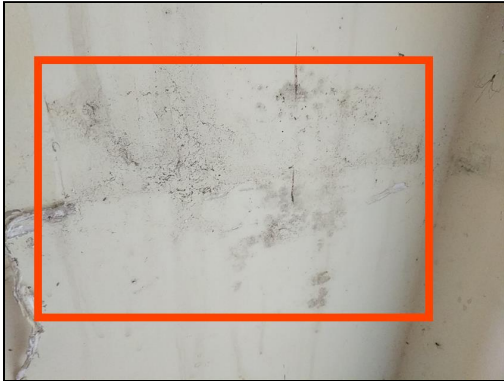
No Smoke or Carbon Monoxide (CO) Detector

		IN	NI	NP	RR	M
5.0.A	Ceilings / Walls / Trim				•	
5.1.A	Floors				•	
5.2.A	Interior Doors	•				
5.3.A	Windows				•	
5.4.A	Lighting				•	
5.6.A	Steps, Stairways, Balconies and Railings				•	
		IN	NI	NP	RR	M

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Comments:

5.0.A (1) Elevated moisture was detected and what appeared to be microbial growth was visible on the walls in the downstairs bonus room. The type of growth or number of spores was not determined and would require specialized testing and laboratory analysis. The underlying cause is moisture. Recommend further analysis by a qualified mold remediation specialist and identifying and correcting the source of moisture intrusion by a qualified contractor.



5.0.A



5.0.A



5.0.A



5.0.A



5.0.A



5.0.A

5.0.A (2) Exposed soffits had mold and wood rot visible. Recommend further evaluation and repairs as needed by a qualified contractor.



5.0.A



5.0.A



5.0.A

5.1.A Floors in the downstairs bonus room had extensive water damage from leakage. Recommend further evaluation and repairs or replacement as needed by a qualified contractor.



5.1.A



5.1.A

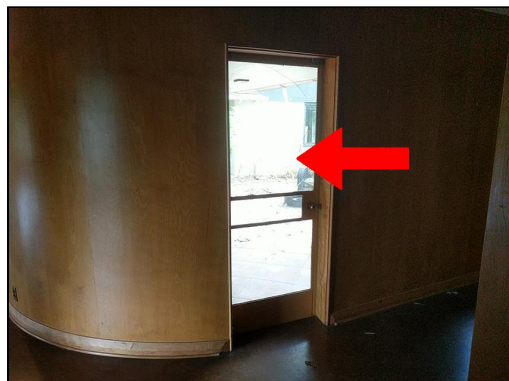
5.3.A The glazing (glass) at multiple windows in the hallway and sunroom was cracked or broken and needed replacement. Recommend repairs by a qualified contractor.



5.3.A



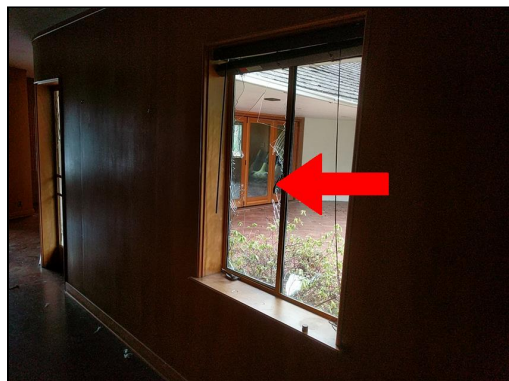
5.3.A



5.3.A



5.3.A



5.3.A

5.4.A Light fixtures in the living room, and downstairs hallway did not respond to the switch. The bulbs may need to be replaced or there may be a problem with the switch, wiring or fixture. If after the bulb is replaced this light still fails to respond to the switch, this may indicate a potential fire hazard and should be further evaluated for repairs by a qualified electrician.

5.6.A The handrail assembly at the staircase had excessive spaces between the balusters which is a safety hazard. Balusters at a stairwell railing should be spaced close enough together that a 5-inch sphere cannot pass between balusters. Recommend correction to the baluster spacing by a qualified contractor to improve child safety and to bring the stairway railing up to modern safety standards.



5.6.A

The interior rooms of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

5(B) . Bedrooms



Styles & Materials

Ceiling Material:
Gypsum Board (Drywall)

Wall Material:
Gypsum Board (Drywall)

Floor Covering:
Carpet
Tile
Extra Info : Cork

Interior Doors:

Hollow core

Window Types:

Dual Pane- Thermal/Insulated
Casement
Steel

Smoke / CO Detectors:

No Smoke Detector

		IN	NI	NP	RR	M
5.0.B	Ceilings / Walls / Trim				•	
5.1.B	Floors	•				
5.2.B	Interior Doors	•				
5.3.B	Windows				•	
5.4.B	Lighting	•				
		IN	NI	NP	RR	M

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Comments:

5.0.B Elevated moisture was detected and what appeared to be microbial growth was visible on the walls in the downstairs bedroom. The type of growth or number of spores was not determined and would require specialized testing and laboratory analysis. The underlying cause is moisture. Recommend further analysis by a qualified mold remediation specialist and identifying and correcting the source of moisture intrusion by a qualified contractor.



5.0.B



5.0.B



5.0.B

5.3.B (1) Condensation and / or stains visible in the glass of a double-pane window in the downstairs bedroom indicated a loss of thermal integrity and failure of the window seal. Recommend consulting with a qualified contractor to discuss options and costs for replacement.



5.3.B



5.3.B

5.3.B (2) The glazing (glass) at a window in the downstairs bedroom was cracked or broken and needed replacement. Recommend repairs by a qualified contractor.



5.3.B



5.3.B

The interior rooms of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

6. Bathrooms



Styles & Materials

Ceiling Material:

Gypsum Board (Drywall)

Wall Material:

Gypsum Board (Drywall)
Tile

Floor Covering:

Tile

Interior Doors:

Hollow core

Window Types:

Dual Pane- Thermal/Insulated
Casement
Steel

Toilet Type:

Low-volume flush (1.6 gal. [6 litres] or less)

Bathub:

Whirlpool (jetted) Bathtub

Shower:

Walk-in
Tiled enclosure

Sink:

Pedestal sink

Cabinets:

Wood

Exhaust Fans:

Fan only

GFCI Protection at Receptacles:

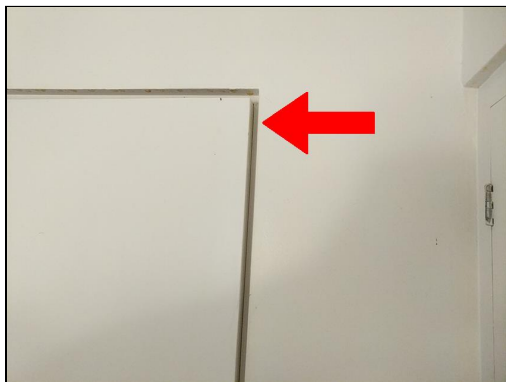
Yes

		IN	NI	NP	RR	M
6.0	Ceilings / Walls / Trim	•				
6.1	Floors	•				
6.2	Doors				•	
6.3	Windows				•	
6.5	Lighting	•				
6.6	Sinks / Fixtures / Countertops / Cabinets	•				
6.7	Plumbing Supply / Drainage				•	
6.8	Toilet				•	
6.9	Shower / Tub				•	
6.10	Ventilation	•				
6.11	Mirrors	•				
		IN	NI	NP	RR	M

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Comments:

6.2 The door at the master bathroom was binding at the door jamb and did not properly open/ close and needed adjustment. Recommend correction by a qualified contractor.



6.2



6.2

6.3 Condensation and / or stains visible in the glass of a double-pane window in the downstairs hallway bathroom indicated a loss of thermal integrity and failure of the window seal. Recommend consulting with a qualified contractor to discuss options and costs for replacement.



6.3



6.3

6.7 The shower in the master bathroom was slow to drain. Other fixtures in this bathroom drained normally, indicating a localized plumbing blockage. Recommend having this drain line further evaluated and / or cleaned by a qualified plumbing contractor.



6.7



6.7

6.8 Moisture meter readings at the base of the toilet in the master bathroom, hallway bathroom, and downstairs bathroom indicated elevated moisture levels were present in the sub-floor around the toilet. This is typically due to failure of the wax ring that seals the toilet to the floor. Recommend replacement of the wax ring by a qualified plumbing contractor.



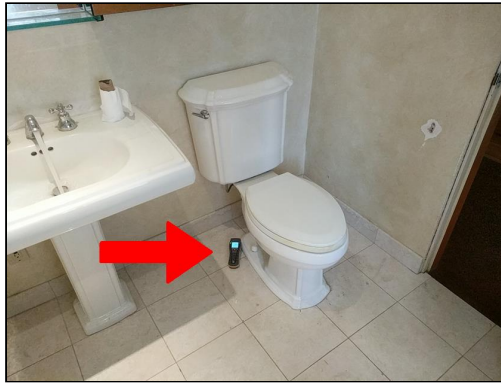
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6.8



6.8



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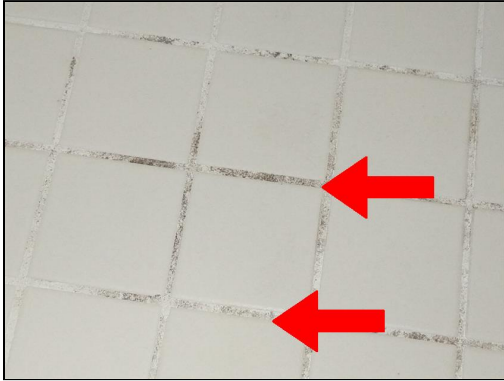


6.8



6.8

6.9 (1) Grout at the master bathroom shower was deteriorated from microbial growth and needs replacement or repairs. Recommend further evaluation and repairs as needed by a qualified contractor.



6.9



6.9

6.9 (2) The shower door was binding in the master bathroom and needed adjustment. Recommend repairs by a qualified contractor.



6.9

6.9 (3) The bathtub in the upstairs hallway bathroom was missing the drainage controller. Recommend repairs by a qualified plumbing contractor.



6.9



6.9

6.9 (4) The downstairs bedroom shower was severely deteriorated and had extensive microbial growth around the walls and floor. Recommend further evaluation and repairs as needed by a qualified contractor.



6.9



6.9

The bathroom(s) of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. All functioning toilets, sinks, bathtubs, showers were operated using normal controls. Water shutoff valves are not operated during a home inspection and were not inspected for functionality. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

7. Kitchen and Appliances





Styles & Materials

Ceiling Material:

Gypsum Board (Drywall)

Wall Material:

Gypsum Board (Drywall)

Floor Covering:

Hardwood T&G

Interior Doors:

Hollow core

Window Types:Dual Pane- Thermal/Insulated
Casement
Steel**Cabinets:**

Wood

Countertop Material:

Granite

Backsplash Material:

Tiled

Exhaust / Range Hood:

Vents To Exterior

Exhaust / Range Hood Brand:

Viking

GFCI Protection at Kitchen Receptacles:

No

Dishwasher:

Present, Not Inspected

Dishwasher Brand:

Bosch

Garbage Disposal:

InSinkErator

Refrigerator:

Inspected

Refrigerator Brand:

Samsung

Built-in Microwave Brand:

N/A- No Built-in Microwave

Cooktop:

Gas

Built-in Oven:

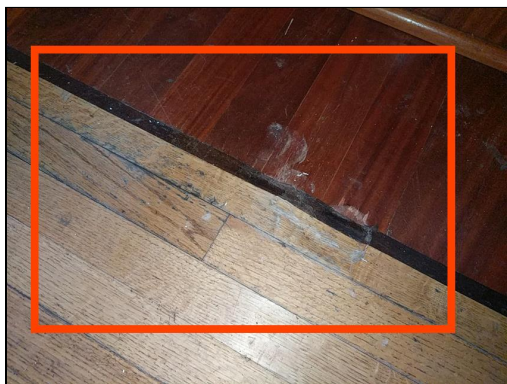
Electric heating elements

		IN	NI	NP	RR	M
7.0	Ceilings / Walls / Trim	•				
7.1	Floors				•	
7.2	Doors	•				
7.3	Lighting	•				
7.4	Windows	•				
7.6	Sinks / Fixtures / Cabinets / Countertops / Backsplash				•	
7.7	Plumbing- Supply / Drainage				•	
7.8	Ranges / Ovens / Cooktops				•	
7.9	Range Hood	•				
7.10	Dishwasher				•	
7.11	Garbage Disposal				•	
7.12	Refrigerator	•				
7.13	Built-in Microwave			•		
		IN	NI	NP	RR	M

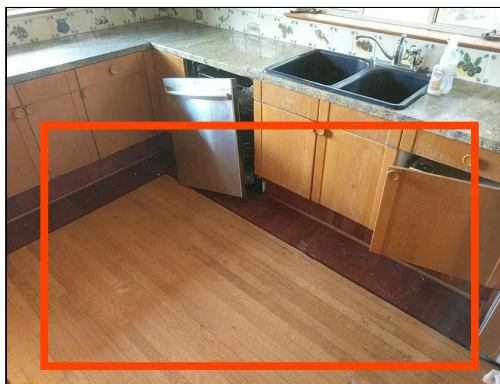
IN= Inspected / Acceptable, NI= Not Inspected, NP= Not Present, RR= Repair or Replace, M= Monitor

Comments:

7.1 Kitchen floors had extensive water damage and will need replacement. Recommend consulting with a qualified flooring contractor for options and costs for repairs or replacement.



7.1



7.1

7.6 Multiple cabinet drawers and doors were binding and inoperable. Recommend further evaluation and repairs as needed by a qualified contractor.



7.6



7.6

7.7 (1) The p-trap assembly at the kitchen sink waste line was broken and leaking. Recommend further evaluation and repairs by a qualified plumbing contractor.

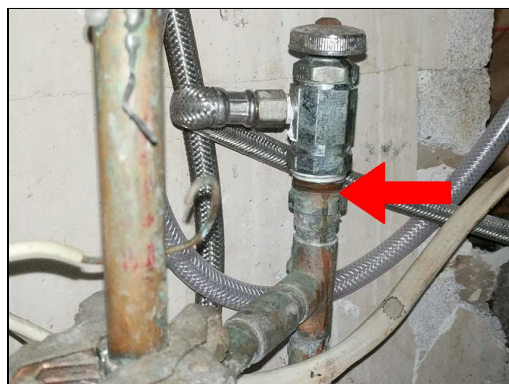


7.7



7.7

7.7 (2) The cold water shutoff valve was leaking below the kitchen sink. Recommend repairs by a qualified plumbing contractor.



7.7

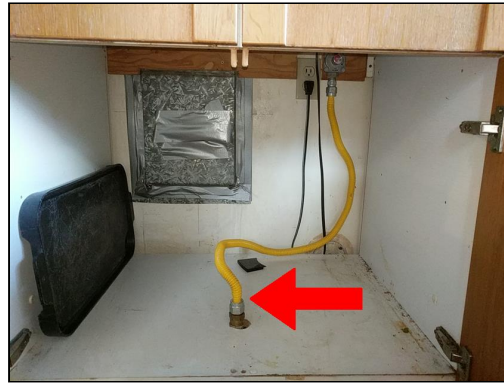


7.7



7.7

7.8 No gas shutoff was installed at the cooktop as required. Recommend correction by a qualified plumbing contractor.



7.8

7.9 The range hood was a ducted type range hood. Cooking exhaust and odors are expelled to the outdoors when the range hood is operated.

7.10 Dishwasher was broken and will need replacement.



7.10

7.11 The electrical connection to the garbage disposal was improper at the time of the inspection. The disposal should either be powered by an approved appliance cord plugged into a dedicated outlet, or be hard-wired directly to a dedicated 20-amp circuit. Romex cable is not an approved type of appliance cord and should not be exposed outside of a wall cavity. Properly spliced connections should be housed within an appropriate junction box with a listed cover installed. The current configuration is a fire / shock / electrocution hazard. Recommend correction by a qualified electrical contractor.



7.11



7.11

The kitchen and appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. All permanently installed, functioning appliances were operated using normal controls. Water shutoff valves are not operated during a home inspection and were not inspected for functionality. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

9. Plumbing System

Styles & Materials

Water Source:

Public / Municipal

Plumbing Water Supply Material:

Copper

Plumbing Water Distribution Material:

Copper

Plumbing Waste:

Cast iron
ABS
Galvanized

Sewage System Type:

Public / Municipal

Water Heater Power Source:

Gas

Water Heater Capacity:

75 Gallons

Water Heater Location:

Bedroom Closet
Extra Info : Downstairs bedroom

Water Heater Manufacturer:

BRADFORD-WHITE

		IN	NI	NP	RR	M
9.0	Main Water Shut-off Location	•				
9.1	Main Fuel Shut-off Location	•				
9.2	Plumbing Water Supply and Distribution System				•	
9.3	Plumbing Drain, Waste and Vent Systems	•				
9.4	Hot Water System, Chimneys, Flues and Vents				•	
9.5	Fuel Storage and Distribution Systems		•			
		IN	NI	NP	RR	M

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Comments:

9.0 The main water shut off valve appeared to be located in the crawlspace. In the event that the water to the home needs to be completely shut off, this is the valve you should access and turn to shut the water off to all rooms, fixtures and systems in the home. Valves are not operated during a home inspection and the valve's operating condition was not inspected. Recommend verifying with the seller that this valve is the water shutoff valve.

9.1 The main fuel shut off is located at the gas meter at the right side of the home. In the event that the gas to the home needs to be completely shut off, the valve indicated in 'picture 2' should be turned 90 degrees to disable the gas supply to the home.



9.1



9.1



9.1

9.2 The plumbing water supply line was leaking next to the pressure regulator. Recommend further evaluation and repairs as needed by a qualified plumber.



9.2



9.2

9.4 The water heater gas supply pipe had no drip leg or sediment trap installed. A drip leg is designed to prevent moisture and particulates from entering the gas valve and appliance, where they can interfere with gas supply and clog the orifices in the appliance. Recommend correction by a qualified plumber.



9.4

9.5 Evidence of the presence of an underground oil storage tank was visible at this home. Indications that an underground tank could be present may include vent pipes, refill pipes, an oil filter, and / or supply pipes. The tank was not inspected and the inspector disclaims the condition of the tank. Recommend asking the seller to provide any documentation about the decommissioning of the tank and whether it has been removed or not, or further evaluation by a tank scanning technician. More information about oil tank decommissioning and responsibilities can be found at the following [link](#).



9.5



9.5



9.5



9.5



9.5

The plumbing system in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Plumbing leaks can occur at any time. Water shutoff valves are not operated during a home inspection and were not inspected for functionality. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

10. Electrical System

Styles & Materials

Electrical Service:

Overhead
Aluminum
220 Volts

Panel Capacity:

200 AMP

Panel Type:

Circuit breakers

Electric Panel Manufacturer:

Federal Pacific

Branch Wire 15 and 20 AMP:

Copper

Wiring Methods:

Romex

GFCI / AFCI Protection:

Partial / Inadequate GFCI Protection

		IN	NI	NP	RR	M
10.0	Location of Meter Base, Main Service Disconnect, Main Distribution Panel and Sub-Panel(s)	•				
10.1	Service Entrance Conductors	•				
10.2	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels				•	
10.3	Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage	•				
10.4	Visible Wiring				•	
10.5	Connected Devices and Fixtures (light switches/ fixtures and receptacles located inside the house, garage, and at the exterior)				•	
10.6	GFCI protection and Operation at Kitchen, Bathrooms, Garage, and Exterior Receptacles			•	•	
10.8	Smoke Detectors			•	•	
10.9	Carbon Monoxide Detectors			•	•	
		IN	NI	NP	RR	M


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Comments:


10.0 The meter base is located at the rear of the home. The meter base is where the power consumption is measured by the utility company. The meter base should never be opened or tampered with by the homeowner.

The main distribution panel was located in the garage.

The main service disconnect is located at the main distribution panel. The breaker switch indicated in the photo is the main service disconnect. In the event that the power needs to be turned off to the entire house at once, this breaker should be flipped which should cut power to the entire home and all sub-panels being fed from the main panel. Always double check that the power is not live before ever touching electrical wires as they are a shock and electrocution hazard if touched when live.



10.0

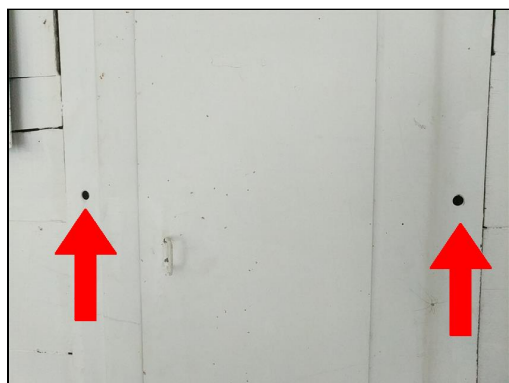


10.0



10.0

10.2 (1) The main distribution panel cover was missing one or more panel cover screws. Panel covers should be securely attached with all screws in place. Recommend replacement of the missing screw(s) with proper panel cover screws by a qualified electrician.



10.2



10.2

10.2 (2) Gaps around the edge of the panel cover were visible which leave energized electrical components exposed to touch and is a fire and safety hazard. No gaps larger than 1/8 of an inch should be visible around the panel cover. Recommend correction by a qualified electrician.



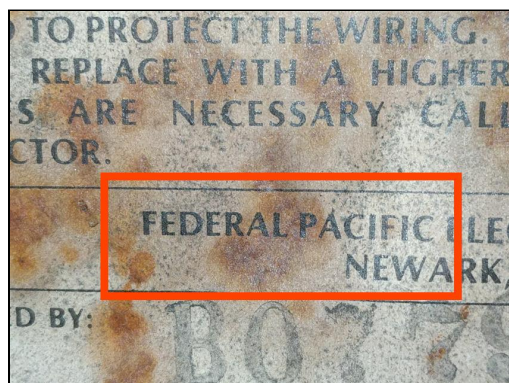
10.2



10.2

10.2 (3) The main distribution panel is a Federal Pacific / Stab Lok panel. These panels are generally considered unsafe as they have a reputation and pattern of not tripping the circuit breakers when they are overheated or when they experience a short, which is a fire / shock / electrocution hazard. It is

highly recommended that all Federal Pacific panels be replaced. Recommend consulting with a licensed electrical contractor for further evaluation and to discuss options and costs for upgrading the electrical panel.

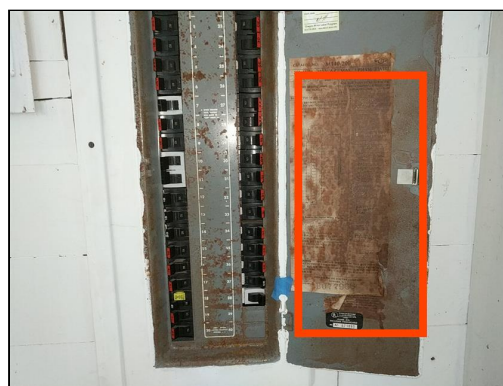


10.2



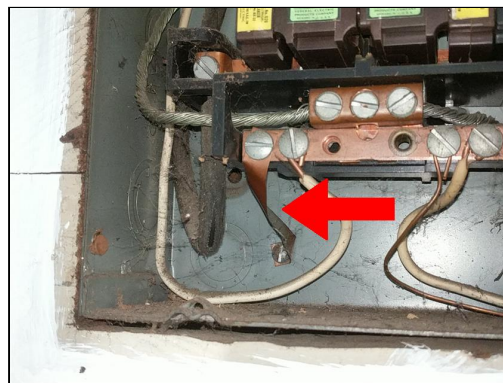
10.2

10.2 (4) A 'Circuit Directory' label at the main distribution panel identifying individual electrical circuits was incomplete, confusing, or appeared to be outdated. The service panel should contain a clearly-marked label identifying the individual circuits so that in an emergency, individual circuits can be quickly identified and shut off. Recommend that a properly marked circuit directory label be installed by a qualified electrical contractor.



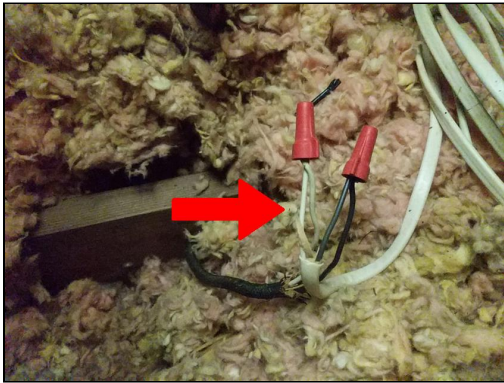
10.2

10.2 (5) The neutral and ground appeared to be bonded at the sub-panel. This is an unsafe condition which creates multiple neutral return current paths, including through the ground wire. The neutral and ground should only be bonded at the main distribution panel. Recommend further evaluation and correction by a qualified electrician.

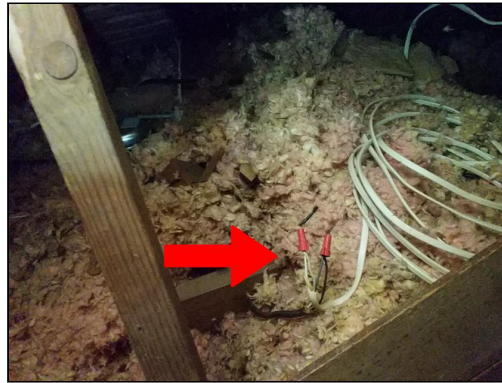


10.2

10.4 (1) Exposed wire splices were visible in the attic. This is a fire/ electrical shock/ electrocution hazard. All wire splices should be enclosed within an approved junction box with an approved, listed cover. Recommend correction by a qualified electrician.



10.4



10.4

10.4 (2) Poorly supported wires were visible in the attic and need to be properly fastened to the framing. Safe building practices require wiring to be supported at intervals no greater than 4 feet-6 inches. Recommend further evaluation and correction as needed by a qualified electrical contractor.



10.4

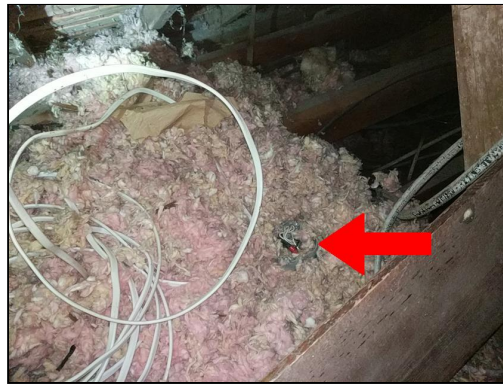


10.4

10.4 (3) A junction box installed at the attic was missing a junction box cover and energized electrical components were exposed to touch. This is a fire/ electrical shock/ electrocution hazard. All junction boxes should be covered by a listed junction box cover. Recommend correction by a qualified electrician.



10.4



10.4

10.4 (4) Energized electrical wires were visible in the attic which terminated outside of a junction box and is a potential fire hazard and shock/ electrocution hazard. All wire terminations should be terminated inside of an approved junction box with a listed cover. Recommend further evaluation and correction as needed by a qualified electrical contractor.



10.4



10.4

10.5 One or more electrical receptacles in the kitchen had an open ground. Other receptacles in the home were grounded, which indicates a potential wiring deficiency at the ungrounded receptacle(s). Recommend further evaluation and correction by a qualified electrical contractor.



10.5



10.5

10.6 Electrical receptacles in the kitchen and garage had no Ground Fault Circuit Interrupter (GFCI) protection. Although this may have been the standard and considered acceptable at the time the home was originally constructed, building standards have changed and GFCI protection is now required in kitchens, bathrooms, garages, and exterior receptacles, to protect against potential shock or electrocution. Consider having GFCI protection installed where needed as a safety upgrade by a qualified electrician.

10.8 No smoke detectors were installed in the home at the time of the inspection. The Inspector recommends installation of smoke detectors in the appropriate locations to provide fire and smoke alert protection. This is a life-safety issue. All smoke detectors should be tested monthly for proper functionality. NOTE: the life expectancy of a smoke detector is generally 10 years, after which the sensors can begin to lose sensitivity. The test button only confirms that the battery, electronics and alerts system are working; it does not mean that the smoke sensor is working properly. The inspector recommends that any smoke detector older than 10 years be replaced or upgraded as needed. Hard wired smoke detectors should be replaced by a qualified electrician. For more information on smoke detectors visit [this link](#).

10.9 No CO (carbon monoxide) detectors were installed in the home. Carbon monoxide is an invisible, odorless, colorless gas created when fuels (such as gasoline, wood, coal, natural gas, propane, oil and methane) burn incompletely. CO detectors are required for the sale or transfer of title of all homes containing a CO source and in new residential construction regardless of whether or not there is a CO source, including any building alteration or repair for which a permit is required.

CO sources include heaters, fireplaces, appliances and cooking sources that use coal, wood, petroleum products and other fuels, internal combustion engines such as cars, portable generators, lawn mowers and power washers. Attached garages with doors, ductwork, or ventilation shafts connected directly to a living space are also considered CO sources.

Recommend installation of CO detectors according to the manufacturer's specifications. A dual functioning smoke alarm/ CO detector is also available that will detect both smoke and carbon

monoxide. All hard-wired CO detectors should be installed by a qualified electrician. For more information about CO and proper placement of CO detectors, visit [this link](#).

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

12. Chimneys / Fireplaces / Woodstoves

Styles & Materials

Chimney Exterior Material:

Brick

Chimney flue material:

Not Visible

Types of Fireplaces:

Solid Fuel

Number of Woodstoves:

None

		IN	NI	NP	RR	M
12.0	Chimney Structure (Exterior / Attic / Roof)				•	
12.1	Chimney- Flues / Vents / Dampers				•	
12.2	Fireplace				•	
		IN	NI	NP	RR	M

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Comments:

12.0 Chimney mortar joints had deterioration resulting from long term moss growth. Recommend further evaluation by a qualified mason or chimney contractor for options and costs for repairs.



12.0



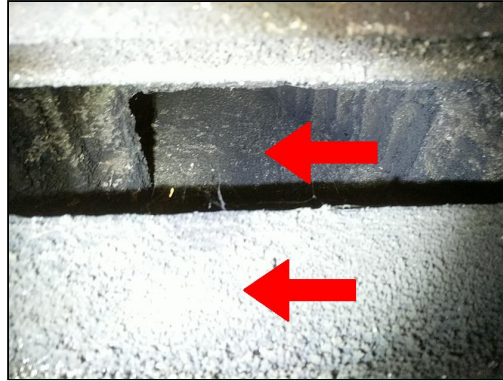
12.0

12.1 Severe levels of creosote buildup were visible in the chimney. Creosote is a by-product of burning solid fuel materials and is flammable. Creosote buildup in the chimney is considered a fire hazard.

Recommend a full cleaning and evaluation of the fireplace system by a qualified fireplace professional prior to use.



12.1



12.1

12.2 The fireplace had deteriorated mortar joints and are a potential fire hazard. Recommend further evaluation by a qualified mason or fireplace contractor prior to use to confirm fireplace is safe for use, or to perform repairs as needed.



12.2



12.2

The fireplace(s) and chimney of this home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. Due to limited visibility, inspection is limited to visible portions of the chimney and fireplace only. It is highly recommended that a licensed chimney sweep further inspect any solid fuel burning fireplaces and chimneys before use to ensure safe conditions are present. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.

13. Basement / Crawl Space / Foundation / Structure

Styles & Materials

Crawlspace Inspection Method:

Crawled

Crawl Space / Basement Access:

Basement Access Panel

Foundation:

Crawlspace
Finished Basement

Floor Structure:

Wood joists

Columns or Piers:

Concrete piers

Floor System Insulation:

NONE

Wall Structure:

Wood

Not visible

		IN	NI	NP	RR	M
13.0	Crawlspace / Basement Access	•				
13.1	Foundation				•	•
13.2	Walls and Wall Structure	•				
13.3	Floors and Floor Structure				•	
13.4	Piers / Columns / Posts	•				
13.5	Insulation Under Floor System			•		
13.6	Vapor Barrier			•		
13.7	Crawlspace / Basement Ventilation	•				
13.8	Crawlspace / Basement Misc.				•	
		IN	NI	NP	RR	M

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Comments:

13.0 Access to the crawlspace was located through an access door in the downstairs bedroom closet.

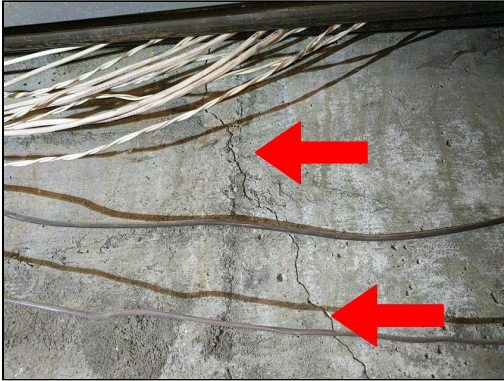
13.1 Cracks of varying width were visible at multiple areas in the foundation walls which appeared to be the result of settling and soil movement. Recommend further review and/ or repairs by a qualified structural engineer.



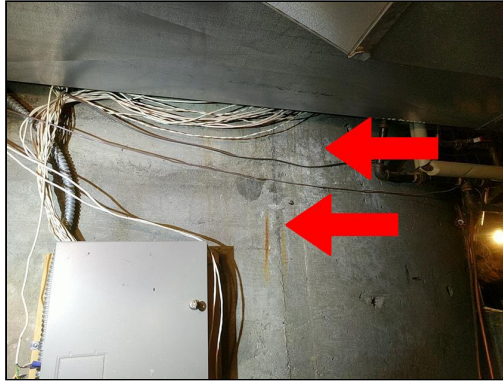
13.1



13.1



13.1



13.1



13.1



13.1

13.3 (1) The sill plate had wood rot visible at multiple areas towards the north side of the home. This may be the result of a negative grade in the slope at this area (see notes at item 1.1) which is allowing excessive moisture contact with the home. Recommend further evaluation and repairs as needed by a qualified contractor.



13.3



13.3

13.3 (2) Water staining was visible at multiple floor joist ends at the east and north sides of the home. This may be the result of a negative grade in the slope at this area (see notes at item 1.1) which is allowing excessive moisture contact with the home. Recommend further evaluation and repairs as needed by a qualified contractor.



13.3



13.3

13.8 (1) Efflorescence deposits were visible at multiple interior surfaces of the foundation walls in the crawlspace. Efflorescence is a white, powdery residue left by moisture wicking through the foundation wall and its presence indicates high moisture levels in soil near the foundation. Excessively high moisture levels in soil supporting the foundation can cause various structural problems related to soil movement. Improvements to the grading and drainage around the exterior of the home will likely help improve conditions related to moisture against the foundation walls. Small amounts of efflorescence is not a cause for concern but should be monitored; if this condition appears to worsen over time, steps should be taken to improve grading and drainage.



13.8



13.8



13.8

13.8 (2) Mud stains on the foundation walls at multiple areas indicated that water intrusion has occurred at these areas in the past. This is likely due to insufficient grading around the home's exterior. Corrections to the grading will greatly reduce the likelihood of this happening in the future. Recommend monitoring during the rainy season; if water entry appears to be a consistent problem steps should be taken to correct grading and drainage around the home. See item 1.1 for additional notes.



13.8

13.8 (3) Active moisture intrusion was occurring through the foundation wall around the main waste line. I could not determine if this is surface water or waste water due to a broken or damaged waste line. Recommend a sewer scope be performed by a qualified contractor to further evaluate possible causes of moisture intrusion at this area.



13.8

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase and further evaluated by the appropriate qualified, licensed specialist before the expiration of the inspection contingency period.



INVOICE

Front Porch Home Inspection LLC
34252 Bennett Rd Warren OR 97053
503.410.4172 dave@frontporchnw.com
CCB# 215226; OCHI# 2006
Inspected By: Dave Lauridsen

Inspection Date: 10/4/2018
Report ID: 20181004-shore

Customer Info:	Inspection Property:
Clayton Powers Customer's Real Estate Professional:	4101 S Shore Blvd Lake Oswego OR 97035

Inspection Fee:

Service	Price	Amount	Sub-Total
Home Inspection- 3000-4000 square feet	440.00	1	440.00
			Tax \$0.00
			Total Price \$440.00

Payment Method: Cash

Payment Status: Paid At Time Of Inspection

Note:



Chimcare

Chimcare

Clayton Powers
4101 South Shore Boulevard
Lake Oswego, OR 97035

(503) 754-0556
claytonpowers99@gmail.com

ESTIMATE	#3135
TOTAL	\$28,860.00

CONTACT US

(503) 655-2446
bryan@chimcare.com

ESTIMATE

Services	qty	unit price	amount
Chimney Rebuild from the Attic Floor Up Rebuild chimney from the roofline up with all new materials. 25 year warranty	1.0	\$9,255.00	\$9,255.00
Chimney Rebuild - Install new Chimney Flashing The chimney flashing is the most important component that keeps water leaks from occurring inside of home - 12 Year Warranty	1.0	\$1,080.00	\$1,080.00
Chimney Rebuild - Build a New Chimney Crown The crown is cracking and deteriorated. Water is seeping into cracks and water is penetrating the chimney. 12 Year Warranty	1.0	\$700.00	\$700.00
Install 15ft Stainless steel liner To Bring Chimney Up To Code 8" stainless Steel Liner fitted into flue of the chimney	1.0	\$5,825.00	\$5,825.00
Interior Fireplace Repairs - Rebuild entire Firebox - Large-current Firebox Does Not Have Fire Brick Demo and Rebuild using new firebrick and fire clay	1.0	\$3,500.00	\$3,500.00
Replace Fireplace Surround The rounded area of the firebox will need to be removed to make room for code improvements because of this the entire fireplace surround will need to be reconfigured	1.0	\$8,500.00	\$8,500.00

Subtotal	\$28,860.00
<hr/>	
Tax (Oregon 0%)	\$0.00
<hr/>	
Total	\$28,860.00

Please Call in with a Debit/Credit Card for payment. If still using checks you can remit to our corporate office:

Chimcare

27929 SW 95th Ave #1001

Wilsonville, OR 97070

Thank You!

